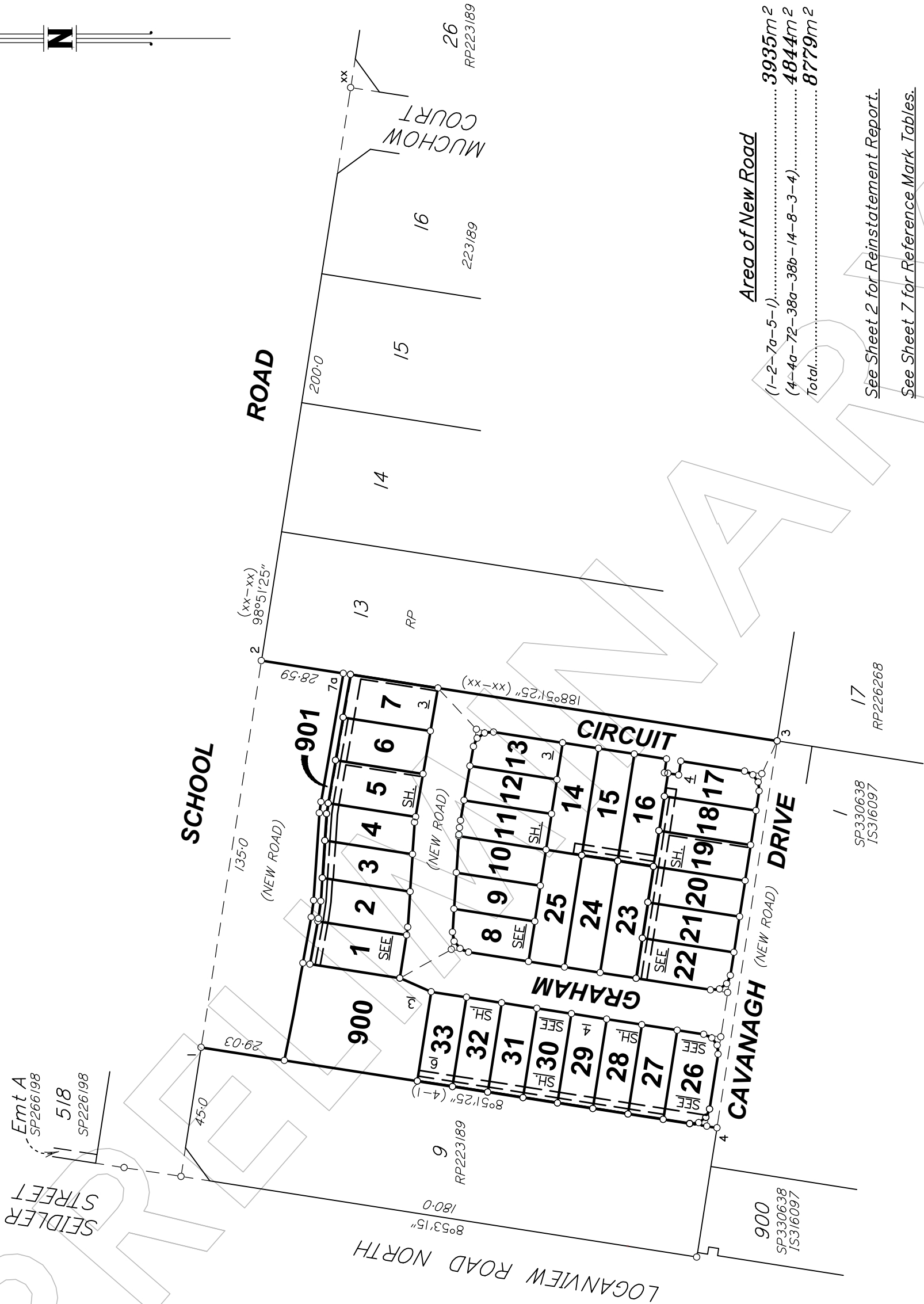


STONE RIDGE MASTER PLAN

Your future home awaits! Stone Ridge is a boutique community consisting of 33 pristine residential lots on School Road, Logan Reserve. With blocks ranging from 365m² to 456m², and all with minimum frontage of 12.0m, Stone Ridge provides a range of blocks and homes to suit every buyer and budget.





Area of New Road

(1-2-7a-5-1).....	3935m ²
(4-4a-72-38a-38b-14-8-3-4).....	4844m ²
Total.....	8779m ²

See Sheet 2 for Reinstatement Report.
See Sheet 7 for Reference Mark Tables.
Peg placed at all new corners
unless otherwise stated.

PRELIMINARY STATUS

ALL DIMENSIONS AND AREAS ON THIS PLAN ARE
SUBJECT TO SURVEY AND REQUIREMENTS FOR
LODGEMENT OF SURVEY PLANS IN THE
DEPARTMENT OF RESOURCES.



Brisbane Office
Level 11, Little Cribb St
Milton Qld 4064
PO Box 1399 Milton Qld 4064

p: (07) 3842 1000
e: info@landpartners.com.au
w: www.landpartners.com.au



0m	75m	150m	225m	State copyright reserved.
0	50mm	100mm	150mm	
<p>Plan of Lots 1-33, 900 & 901 and Easements A & B in Lot 1, Easements C & D in Lot 2, Easements E & F in Lot 3, Easements G & H in Lot 4, Easements I & J in Lot 5, Easements K & L in Lot 6, Easement M in Lot 7, Easement N in Lot 14, Easements O & P in Lot 15, Easements Q & R in Lot 16, Easement S in Lot 17, Easements T & U in Lot 18, Easements V & W in Lot 19, Easements X & Y in Lot 20, Easements Z & AA in Lot 21, Easements AB & AC in Lot 22, Easement AD in Lot 26, Easements AE & AF in Lot 27, Easements AG & AH in Lot 28, Easements AI & AJ in Lot 29, Easements AK & AL in Lot 30, Easements AM & AN in Lot 31, Easements AO & AP in Lot 32 and Easements AQ & AR in Lot 33</p> <p><i>Cancelling Lots 10-12 on RP223189</i></p> <p>LOCAL</p> <p>GOVERNMENT: LOGAN C.C.</p> <p>LOCALITY: LOGAN RESERVE</p>			Scale:	1:1500
			Format:	STANDARD
			PRELIMINARY	
			SP348856	
Meridian: IS323546		Survey Records: No		

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
17215038	Lot 10 on RP223189	1, 26–33, 900 & 901	New Rd	Emts A, B & AD–AR
17215039	Lot 11 on RP223189	1–5, 8–11, 14–16, 19–25 & 901	New Rd	Emts A–H, N–R & W–AC
17215040	Lot 12 on RP223189	5–7, 11–19 & 901	New Rd	Emts I–M & S–W

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
722248658	1–33, 900 & 901	–

Reinstatement Report

.....
.....
.....

6. Building Format Plans only.

I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining *lots and road

.....
Cadastral Surveyor/Director* Date
*delete words not required

7. Lodgement Fees :

Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

8. Insert Plan Number
SP348856

5. Passed & Endorsed :

By : LandPartners Pty Ltd
Date :
Signed :
Designation :

2. Orig Grant Allocation :

3. References :

Dept File :
Local Govt :
Surveyor : BRSS7994.000

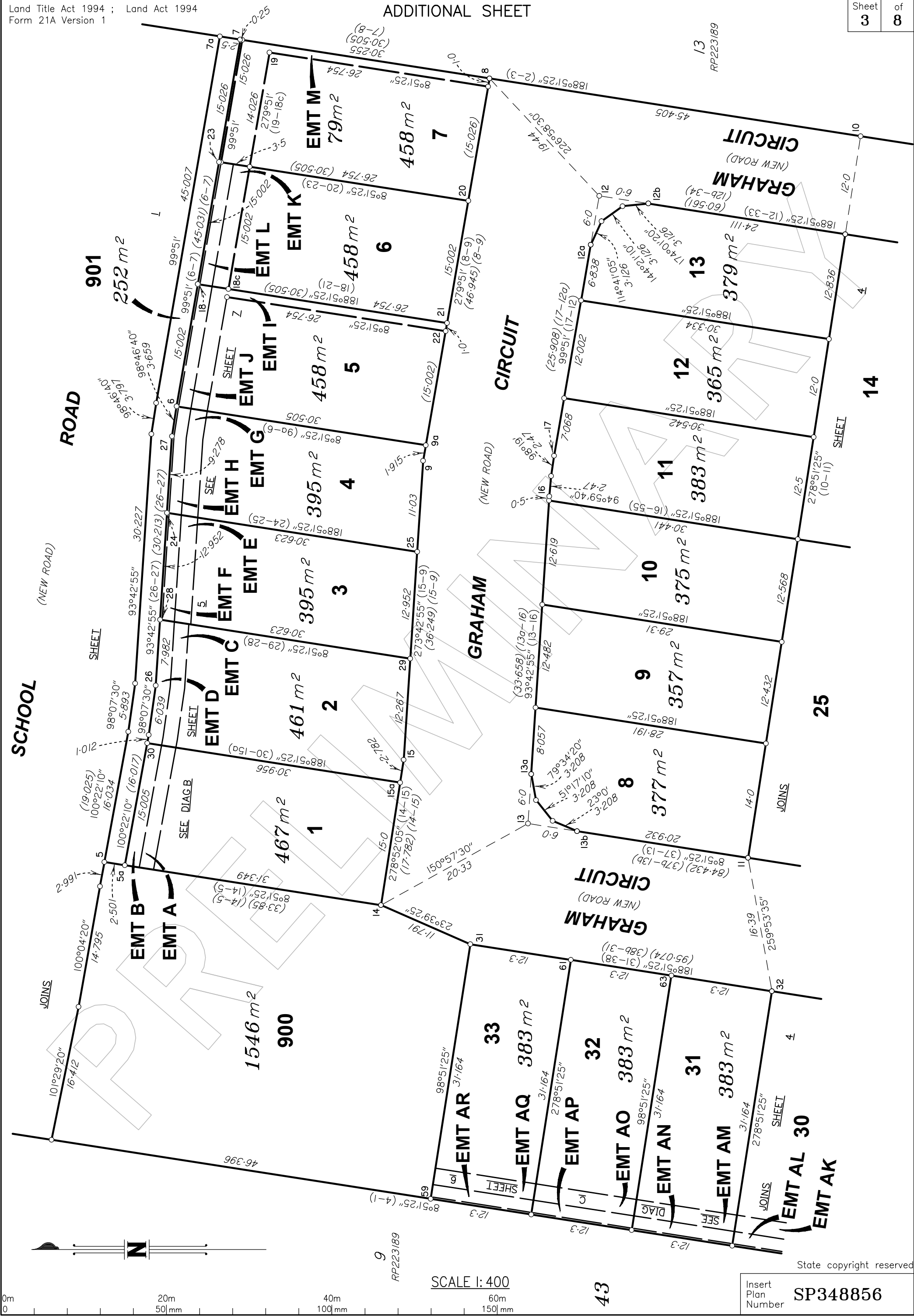
1–33, 900 & 901

Por 47

Lots

Orig

ADDITIONAL SHEET



State copyright reserved

Insert
Plan
Number

SP348856

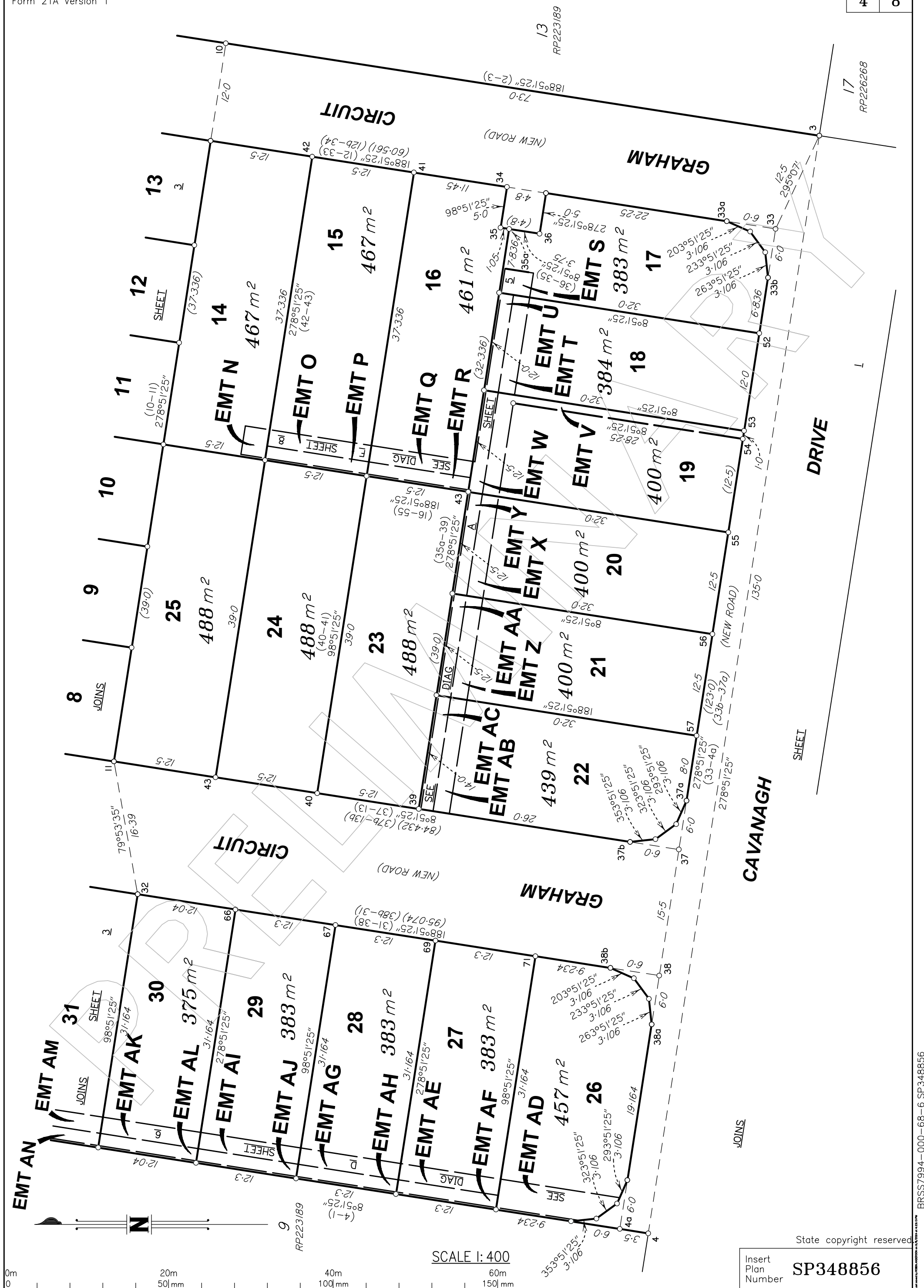
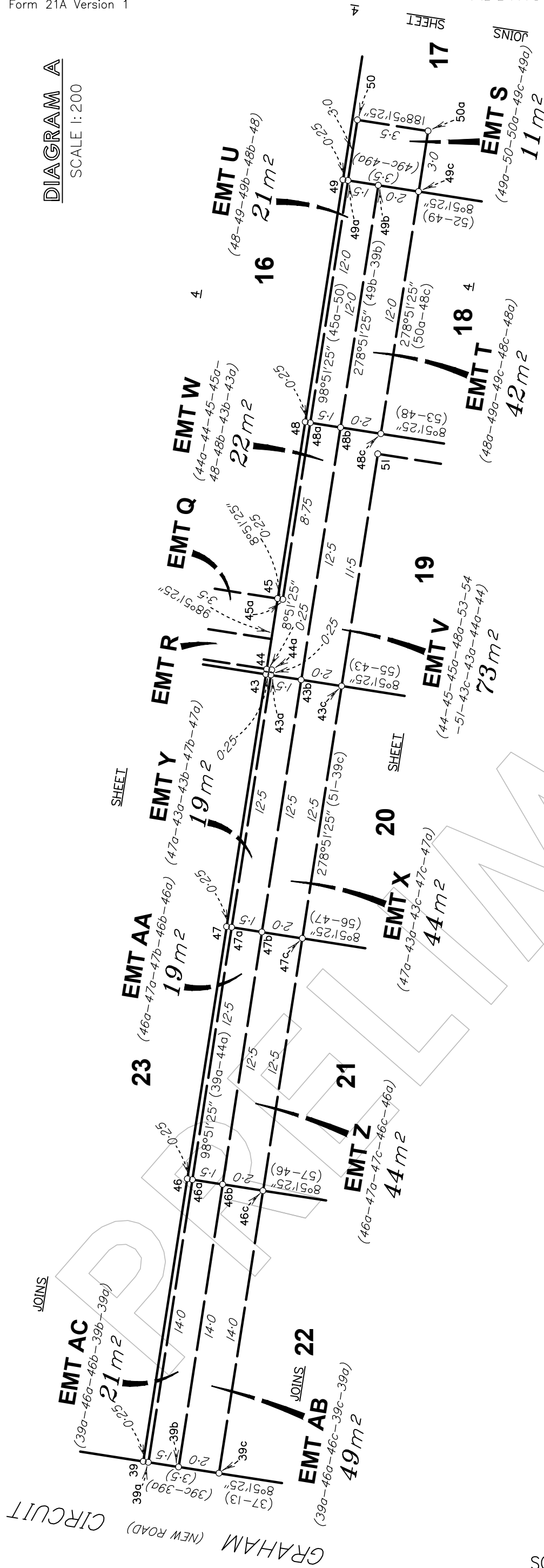


DIAGRAM A

SCALE 1:200



SCALE 1:200

ROAD

SCHOOL

(NEW ROAD)

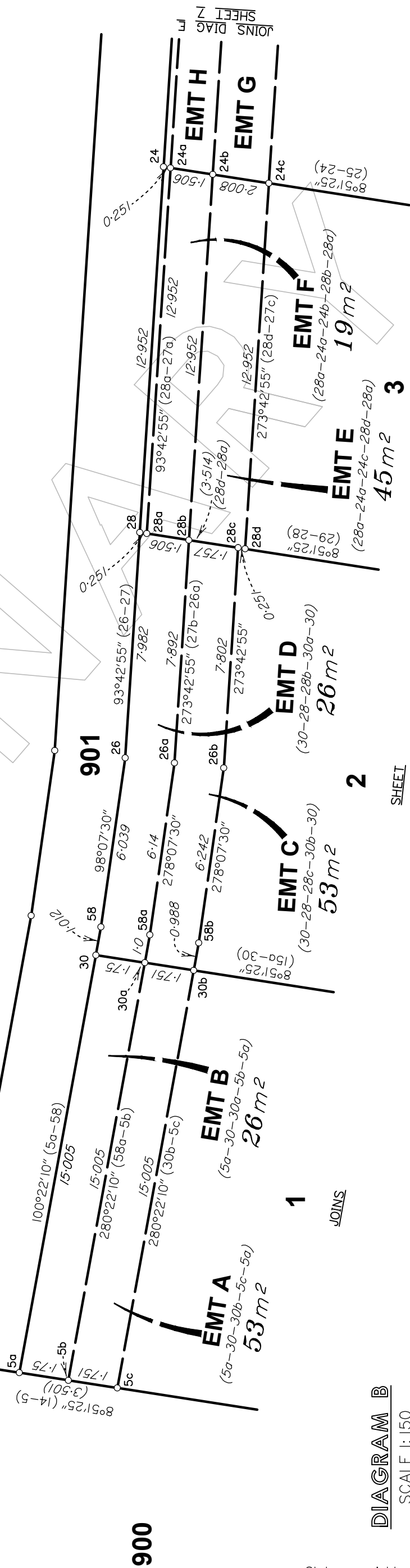


DIAGRAM B

SCALE 1:150

State copyright reserved

Insert
Plan
Number

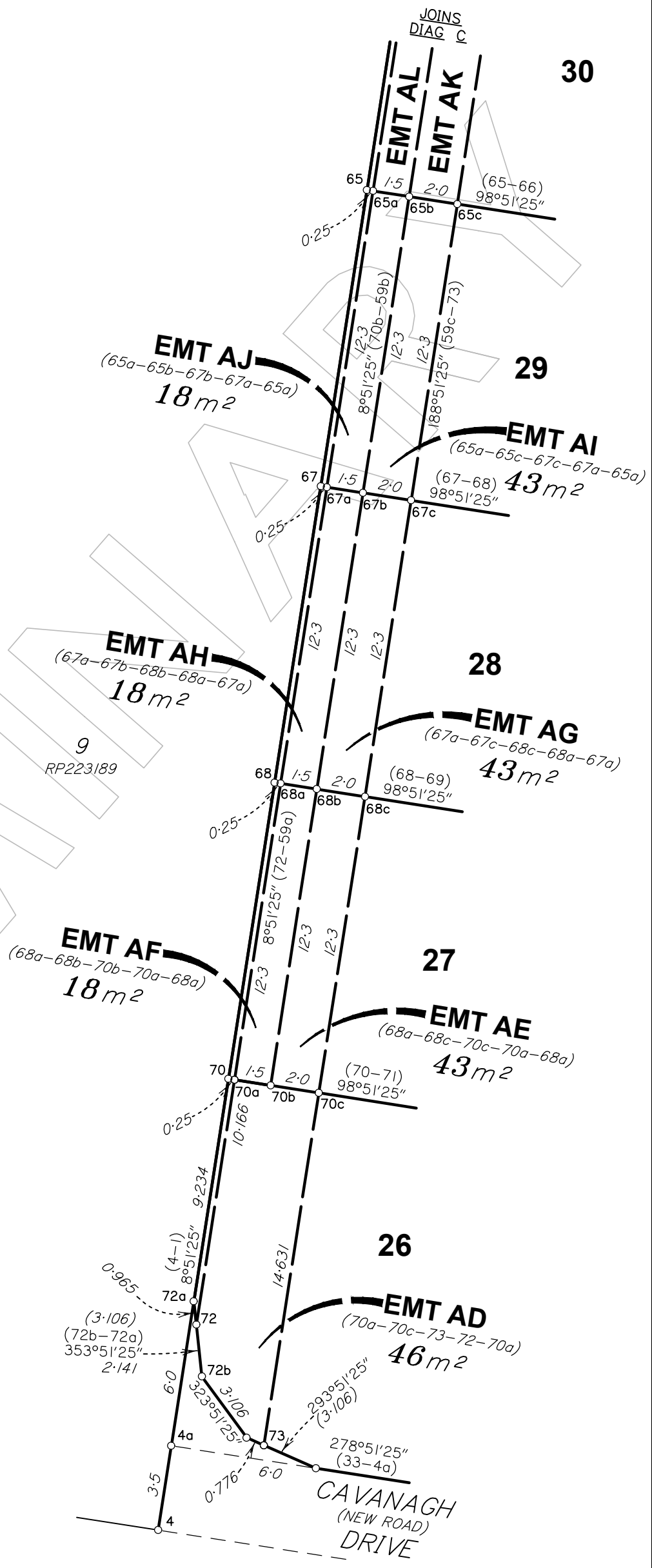
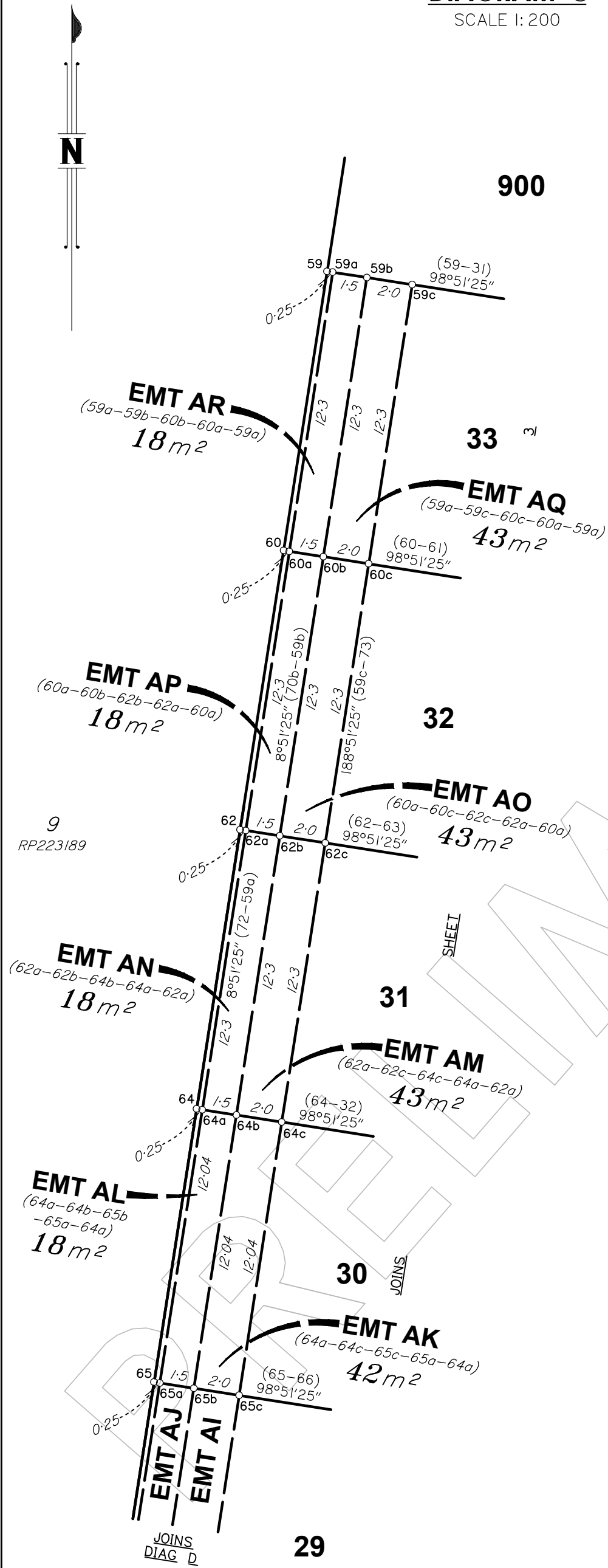
SP348856

DIAGRAM C

SCALE 1: 200

DIAGRAM D

SCALE 1: 200



SCALE 1: 200

State copyright reserved

Insert Plan Number
SP348856





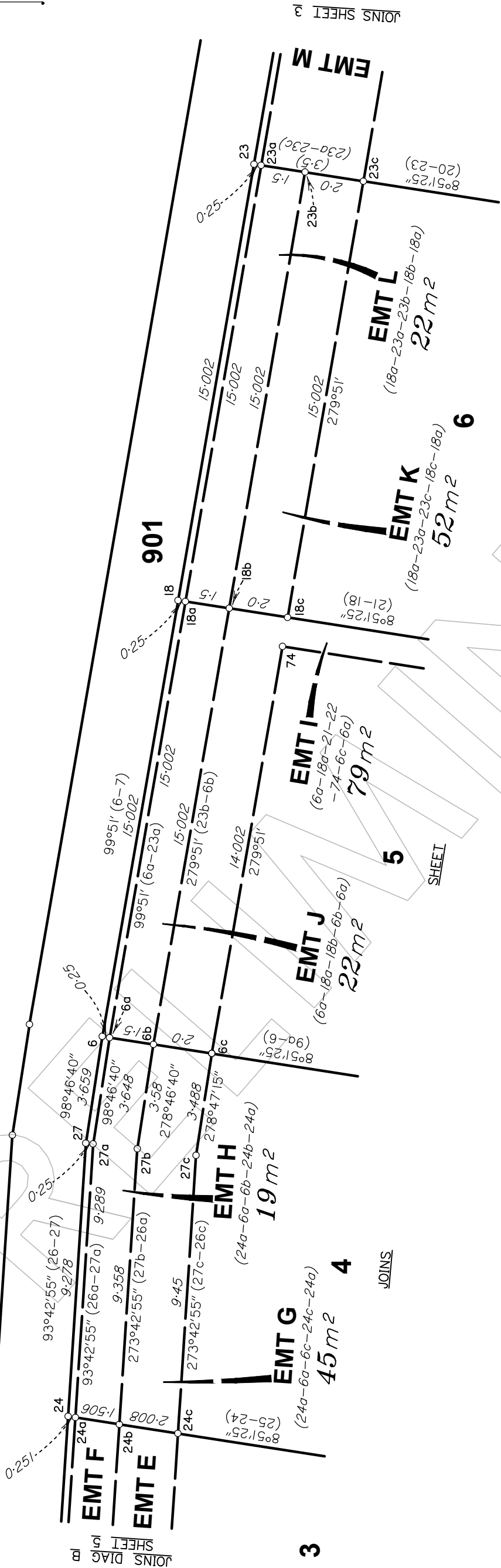
DIAGRAM E
SCALE 1: 150



SCHOOL

(NEW ROAD)

ROAD



REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO

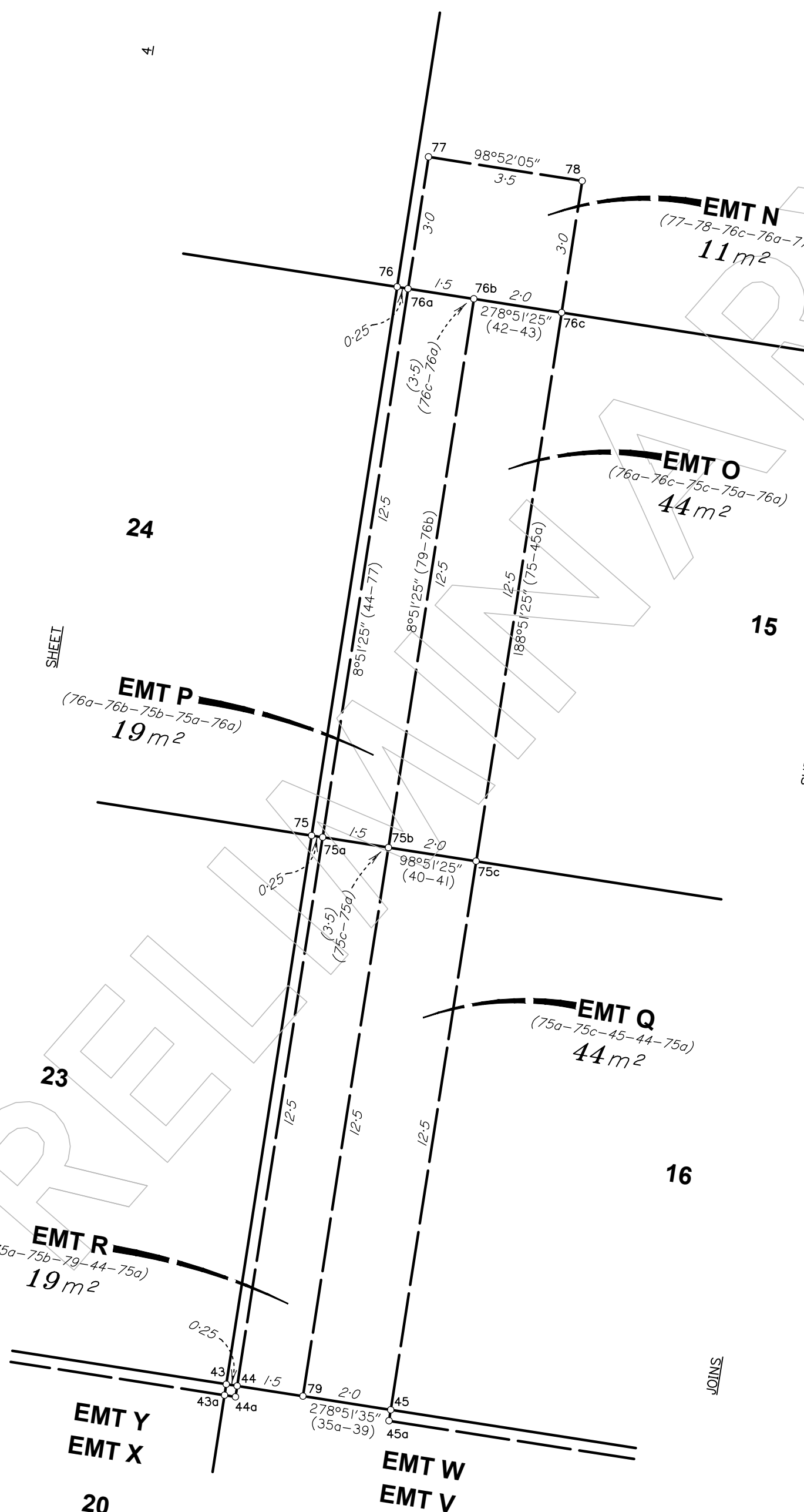
State copyright reserved

Insert
Plan
Number

SP348856

DIAGRAM F

SCALE 1: 100



State copyright reserved

Insert
Plan
Number **SP348856**

BRSS7994-000-68-6 SP348856

DISCOVER THE PERFECT
BLEND OF MODERN
LIVING AND STRATEGIC
INVESTMENT AT
STONE RIDGE.

The epitome of modern living at Stone Ridge, a premier residential development ideally located in Brisbane's Logan Reserve. With a limited offering of 33 lots, this exclusive estate is designed for owner occupier family living, and astute investor buyers seeking a blend of high-quality living and lucrative rental demand.



STONE
RIDGE



- ← Burrowes State School 10min
- ← St Francis College Crestmead 7min
- ← St Philomena School 5min
- ← Park Ridge Town Centre 8min
- ← Crestmead Park 7min

STONE RIDGE



TOP EDUCATION FOR GROWING FAMILIES

Experience the perfect blend of education and healthcare at Stone Ridge.

Education & Healthcare

Surrounded by top-tier schools, this family-friendly neighbourhood ensures a nurturing environment for children, making it an ideal choice for families.

- Logan Reserve State School (1 min)
- St Francis College (7 mins)
- St Philomena School (5 mins)
- Burrowes State School (10 mins)
- Marsden State High School (6 mins)

Set to open in January 2025 is a new primary school located at 450 Park Ridge Road. With a budget of \$80.3 million, the school is now under construction and will feature state of the art facilities.

The neighbourhood is ideal for growing families, boasting two childcare facilities nearby – Edge Early Learning Crestmead and Crestmead Early Education Centre.

All of life's essentials are on the estate's doorstep, with seven medical facilities located within just a 10-minute drive, including Crestmead Medical Centre. Logan Hospital is only 15 minutes away providing residents with easy access to quality medical services. The hospital is currently undergoing a \$460 million expansion to increase its capacity in line with the Logan region's rapid population growth.



St Francis College, Crestmead



Marsden State High School, Waterford West



Artists impression

\$460 million Logan Hospital Expansion



Artists impression

Future primary school at 450 Park Ridge Road

PARK RIDGE ROAD

PARKS AND RECREATION, RIGHT IN YOUR BACKYARD

Surrounded by nearby parks and recreational spaces, Stone Ridge is ideal for families of all ages and lifestyles.

Parks & Recreation

With this new estate so close in proximity to the popular Crestmead Park, enjoying all that this vast play space has to offer will be easy with the following amenities within walking distance from your front door.

- Walking tracks
- Children's playground
- Basketball court
- Skate park
- Dog park
- Community garden
- Crestmead PCYC



Crestmead PCYC, Basketball Court and Skate Park



Crestmead Park Playground

A HUB FOR TRANSPORT AND EMPLOYMENT

The City of Logan is fast growing into a powerhouse region, backed by significant investment by the Queensland Government across infrastructure, health and education.

Transport & Employment

Stone Ridge offers a rare opportunity to invest in one of the regions strongest growth corridors as property values here continue to rise.

The estate is strategically positioned nearby both the Crestmead Industrial Park as well as the Crestmead Logistics Estate which is now under construction and will deliver up to 6,000 new jobs for residents of the region upon completion. This new industrial estate will be one of the largest in Queensland, offering 650,000sqm of warehousing, business, logistics and manufacturing space.

Shops, schools and major shopping centres are easy to access via the nearby M1 and M3.

Residents can also look forward to the PRC, a future transport link that will further connect development in the wider Park Ridge area to nearby centres like Browns Plains and Logan Central, allowing faster access to the Logan and Gateway Motorways.



Crestmead Logistics Estate



Crestmead Industrial Park



Crestmead Logistics Estate Under Construction

VIBRANT SHOPPING AND ENTERTAINMENT, CLOSE TO HOME

Convenience and retail therapy abound with a host of retail precincts nearby.

Entertainment & Shopping

Residents will be well catered for with the Crestmead Shopping Centre, Kensington Fair, Logan Central Plaza, Marsden on Fifth and Home Co. Marsden just a short distance away.

The nearby Logan Hyperdome Shopping Centre boasts over 220 retailers and is Logan's ultimate shopping, restaurant, dining, and family fun experience. With a cinema and regular family events, it's the perfect weekend fun for the entire family!

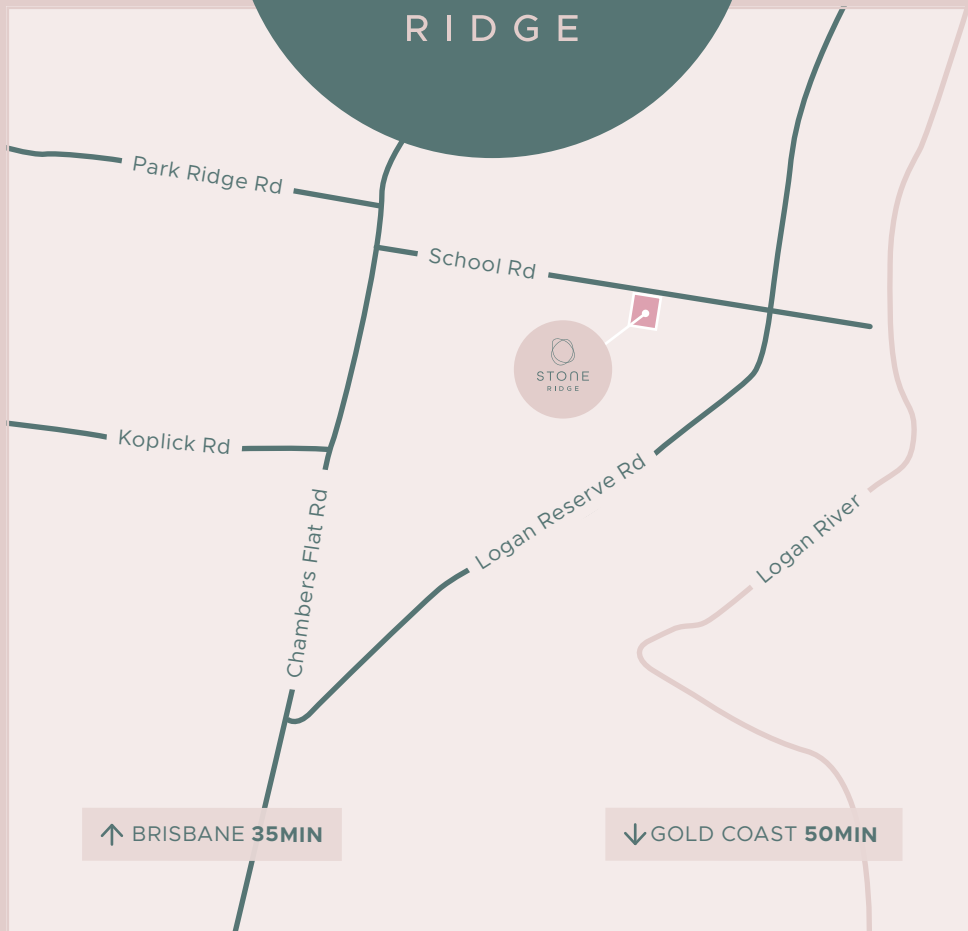
The all-new Logan Reserve Neighbourhood Shopping Centre is currently under construction and set to open early 2024. The 4000sqm shopping centre will feature a Woolworths supermarket and 15 specialty stores, including an alfresco dining precinct. The development is expected to create significant employment opportunities including 140 retail jobs on completion.



STONE RIDGE MASTER PLAN

Your future home awaits! Stone Ridge is a boutique community consisting of 33 pristine residential lots on School Road, Logan Reserve. With blocks ranging from 365m² to 456m², and all with minimum frontage of 12.0m, Stone Ridge provides a range of blocks and homes to suit every buyer and budget.







Charcoal

COLOUR SELECTION



EXTERNAL ROOFTILE



EXTERNAL COLORBOND

A current aesthetic with a classic finish.

Brick House

Brick: Austral Blackbutt
Joints: Raked
Mortar: Natural

Rendered House

Feature Brick: Austral Grey Gum
Joints: Raked
Mortar: Natural

External Walls Render

Colour: Wattyl Melchoir 22.40

Feature Render or Cladding

Colour: Wattyl Earth Child 20.20

Roof

Roof Tile Colour: Sambucca
Tile Profile: Elabana
Colourbond® Roof: Standard profile
Colourbond® Colour: Colorbond Monument

Colour bond® Fascia & Gutter

Fascia Colour: Colorbond Night Sky
Gutter Colour: Colorbond Night Sky
Downpipe Colour: Colorbond Night Sky

Driveway / Paths: Exposed aggregate

Window / Flyscreen Frames

Colour: Custom Black

Garage Door

Type: Colourbond® Woodgrain Panelift
Style: Contemporary
Colour: Colorbond Shale Grey

External Paint / Finishes

Metre Box: Colorbond Monument
Gable Trim: Colorbond Night Sky
Gables / Eave Lining: Colorbond Surfmist
Balustrading: Surfmist

Front Door Style: XV1 Paint Grade
Front Door / Frame: Colorbond Shale Grey
Entry Fixed Glass: Obscure
External Door Furniture: Stainless Steel
Front Door / Locks: Deadlock & Entry Set
Rear Door / Frame: Colorbond Shale Grey
Rear Door Locks: Deadlock & Entry Set

External Light Colour: White
Letterbox Colour: Colorbond Shale Grey
Letterbox Style: Milk Can
Clothesline Colour: Colorbond Surfmist

KITCHEN

- Kitchen Benchtop: Caesarstone Jet Black
Edging: 20mm Arris
- Cupboard Fronts:**
Cupboard Colour: Polytec Alabaster Sheen
Handle Style / Position:..... Choice Standard
- Appliances**
Cooktop: Ceramic
Oven / Rangehood: Stainless steel
Kitchen Sink: Stainless steel with Flick Mixer
Hot Water System: 250lt Energy Efficient
Laundry Tub: White Metal with Stainless Steel Tub
- Tiles**
Main Floor Tiles: 1235658 Infinite Light Grey Matt 450 x 450
Kitchen Splashback: 1008299 United Black Satin 100 x 300
Laundry Splashback: 1008299 United Black Satin 100 x 300
Laundry Skirting: 1235658 Infinite Light Grey Matt 450 x 450
Note: Splashback tiles laid 300 side horizontal brick bond.



BATHROOM

- Bathroom / ensuite**
Vanity Benchtop: Caesarstone Jet Black
Cupboard Fronts: Polytec Alabaster Sheen
Handle Style / Position:..... Choice Standard
Tap Handles: Chrome
Bathtub / Basin: White
Mirror / Shower Frame:Chrome
Shower Screen: Clear Laminated
Shower Soap Holder: Chrome on Shower Rail
Towel Rail: Chrome
Toilet Roll Holder: Chrome
Toilet Suite: White
- Bathroom Tiles**
Shower Floor: 1235670 Infinite Light Grey Matt 300 x 300
Bathroom/Ensuite Floor: 11235658 Infinite Light Grey Matt 450 x 450
Note: Bath/Ensuite wall tiles laid stack bond.
Bathroom/Ensuite Walls: 1235658 Infinite Light Grey Matt 450 x 450
WC Skirting: 1235658 Infinite Light Grey Matt 450 x 450



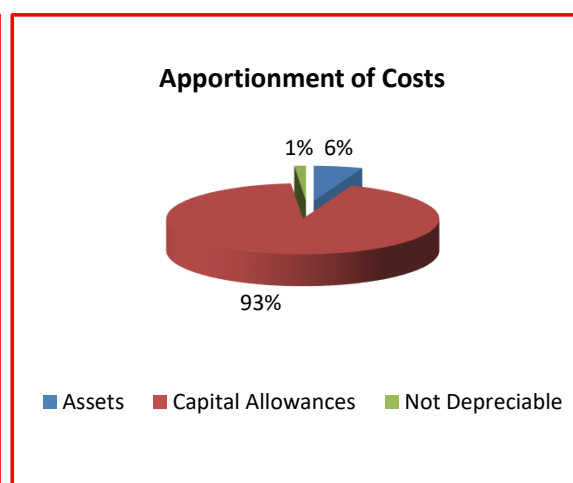
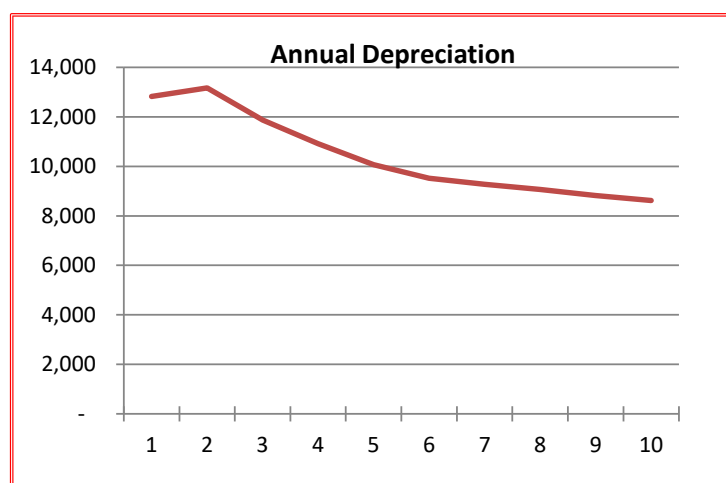
LIVING

- Internal Paint / Finishes**
Ceiling Cornice: Watty! White
Wall Colour: Watty! Floral White 20.10
Wall Paint Type:Ultra ASU (1) ID ADV Low Sheen (2)
Skirting / Architraves: Watty! Floral White 20.10
Internal Door Style: Redicoat
Internal Door Colour: Watty! Floral White 20.10
Interior Door Furniture: Chrome
- Other Interior Paint / Finishes**
Robe Frames: White
Robe Inserts: Glacier
Light Switches: White
Ceiling Fans: Brushed chrome
Carpet: Blockbuster Plus Black Orbit
Verticals: Focus White



Indicative Tax Depreciation and Capital Allowances Schedule for Choice Homes "Memphis" House Design

Year	Depreciable Assets	Capital Works Deductions	Total Depreciation
	\$	\$	\$
1 (365 Days)	4,450	8,370	12,820
2	4,800	8,370	13,170
3	3,500	8,370	11,870
4	2,550	8,370	10,920
5	1,700	8,370	10,070
6	1,150	8,370	9,520
7	900	8,370	9,270
8	700	8,370	9,070
9	450	8,370	8,820
10	250	8,370	8,620
Balance Yrs 11-41	500	251,100	251,600
TOTAL	\$ 20,950.00	\$ 334,800.00	\$ 355,750.00



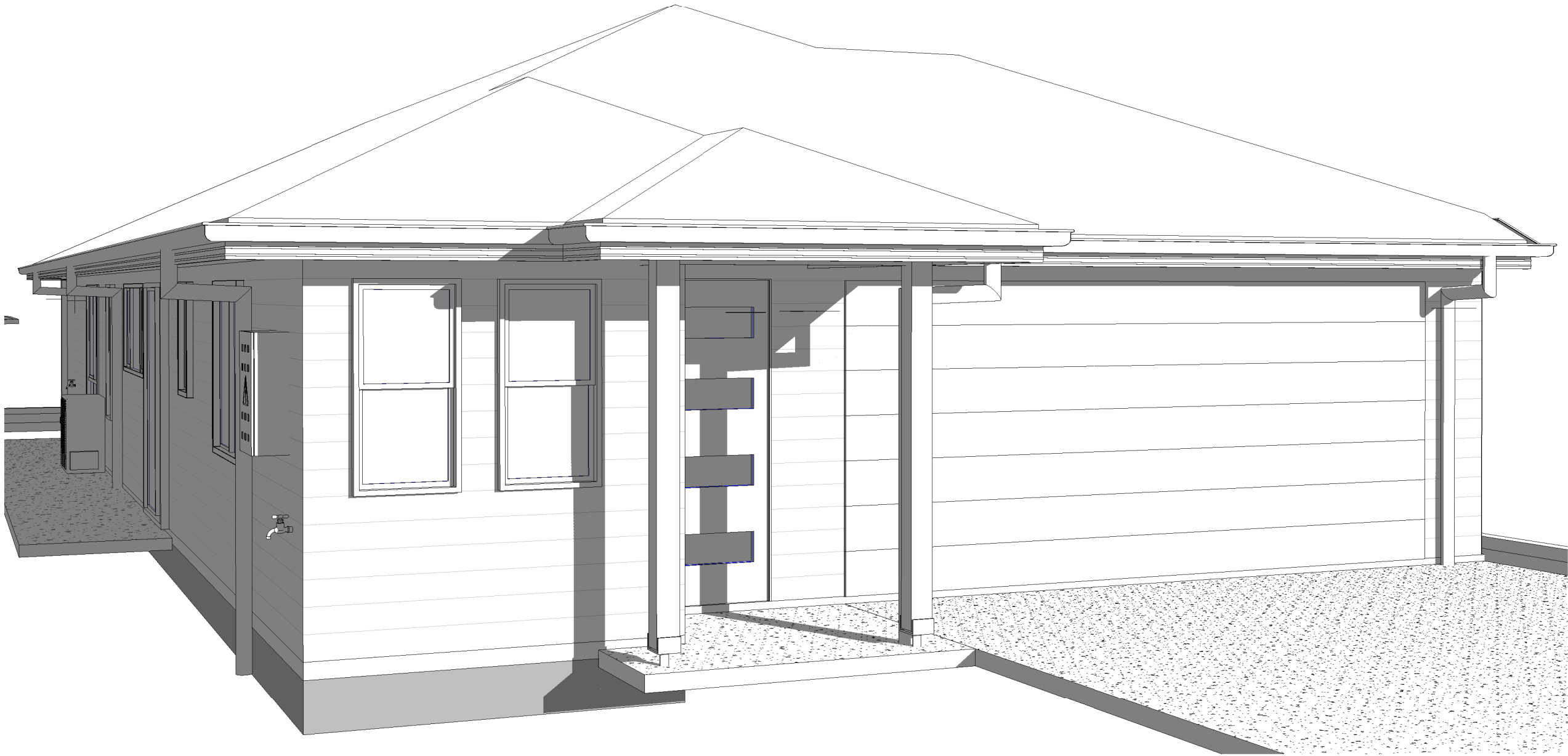
Notes:

This Schedule is based on a Construction Cost of **\$361,000** and the assumption that the first year will comprise 365 days*.

This Indicative Tax Depreciation Schedule has been prepared based on generic preliminary information and calculations and, as such, is not acceptable for use in the preparation of Income Tax Returns to the Australian Taxation Office. This Schedule is intended to be an indicative representation of the allowances expected on the completion of the above property and is provided for the purposes of Sales and Marketing only.

This Schedule has been prepared in accordance with the current Australian tax provisions and is exclusive of any future amendments thereto beyond the date of this assessment.

***Adjustment to first year figures based on expected period of ownership is required prior to cashflow forecasts.**



Perspective

ACN 061 632 862 LIC. No. 71541
P.O. BOX 396
PARADISE POINT, QLD 4216
PHONE: 07-5501 3300 WEBSITE:
FAX No: 07-5501 3399 www.choicehomes.com.au

Use figured dimensions at all times. Refer enquiries to **CHOICE HOMES (QLD) PTY LTD**. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA.
The design, in part or whole, is subject to Choice Homes (QLD) Pty Ltd COPYRIGHT ©

Estimation Details:	STANDARD TEMPLATE	
ROOF TYPE: COLORBOND ROOF		
A	23.09.24	SITING
ISS	DATE	DESCRIPTION
SITING		
SITE DETAILS: Lot 32, GRAHAM Circuit, Logan Reserve, QLD		
PROPERTY DETAILS		
S.P NUMBER		348856
HOUSE NAME: MEMPHIS 4B (1)		
HOUSE TYPE: SINGLE STOREY		
CLIENT: CHOICE HOMES		
CLIENTS SIGNATURE:		
DATE:	23.09.24	DWG Name Perspective
SCALE:		
DRAWN:	TB	DWG No: 000
CHECKED:	TB	
JOB No:	032SRL01	ISSUE A

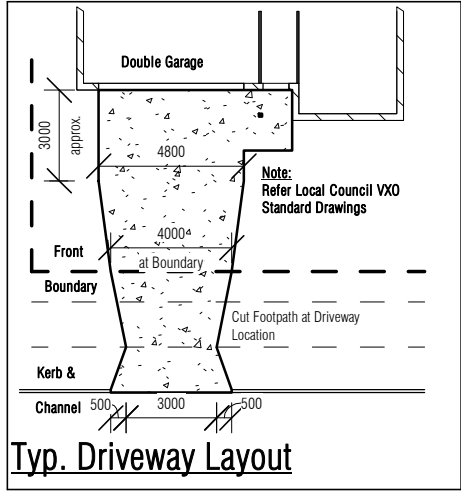
1. EARTHWORKS

a) Cut and fill indicated on plan may vary at construction stage and builder is to verify and adjust as required.
b) Any variation at construction stage is to comply with Council policy on earthworks/drainage for residential sites.
c) Site works indicated on this plan are for construction purposes only.
2. RETAINING WALLS & FENCES

a) All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites.
b) Position of retaining wall may vary and must be verified by builder prior to commencement.
c) Any variation at construction stage to comply with Council policy.
d) Retaining walls may not align with property boundary's. Fences are located on retaining walls.
3. CONTOURS AND LEVELS

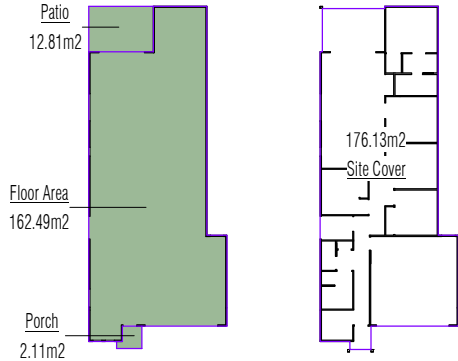
a) Contours and levels shown on plan are taken from levels supplied by contour surveyor and no responsibility is taken for accuracy or cut and fill levels.
- RETAINING WALL, DRIVEWAY, LANDSCAPE QUANTITIES & DIMENSIONS, MAY VARY ON SITE TO SUIT AS-CONSTRUCTED SITE DETAILS AND CONTOURS.
4. STORMWATER

a) Drainage is calculated for this proposed development only and may not be adequate for any subsequent roofed or paved areas.
b) Minimum 100x75 or 100Ø downpipes at a rate of 1 per 40m² of roof area, discharging into 100Ø stormwater pipework connecting yard gullies.
c) Minimum grade of 1% to kerb adapter or rubble pit if applicable .

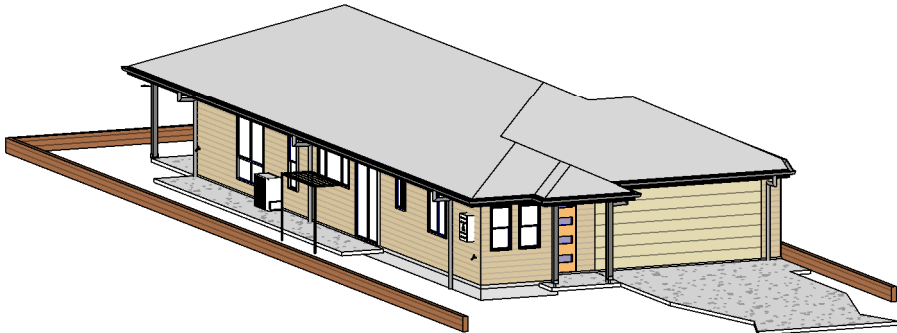


External Concrete	
Type	Area
Driveway	45.95 m ²
Patio	12.81 m ²
Step Out	1.17 m ²
Porch & Path	3.20 m ²
Clothesline / AC / HW	15.14 m ²
Water Heater	0.49 m ²
Grand total: 6	78.76 m ²

Retaining Walls		
Type	Length	Area
Retaining Wall - Timber	73.71 m	29.49 m ²



Area Plan
1 : 500



Site 3D

NO ACOUSTIC REQUIREMENTS

NO BUSHFIRE REQUIREMENTS

- ENERGY EFFICIENCY REQ'S NCC 2022
- R2.5 INSULATION INSTALLED TO ENTIRE CEILING INCLUDING PATIO.
 - SARKING INSTALLED TO ALL WALLS
 - 1.5 INSULATION BATTS TO ALL EXTERNAL WALLS WITH CLADDING
 - CEILING FAN TO PATIO
 - HEAT PUMP TO HOT WATER UNIT
 - REFER TO ENERGY EFFICIENCY REPORT FOR ANY ADDITIONAL REQUIREMENTS

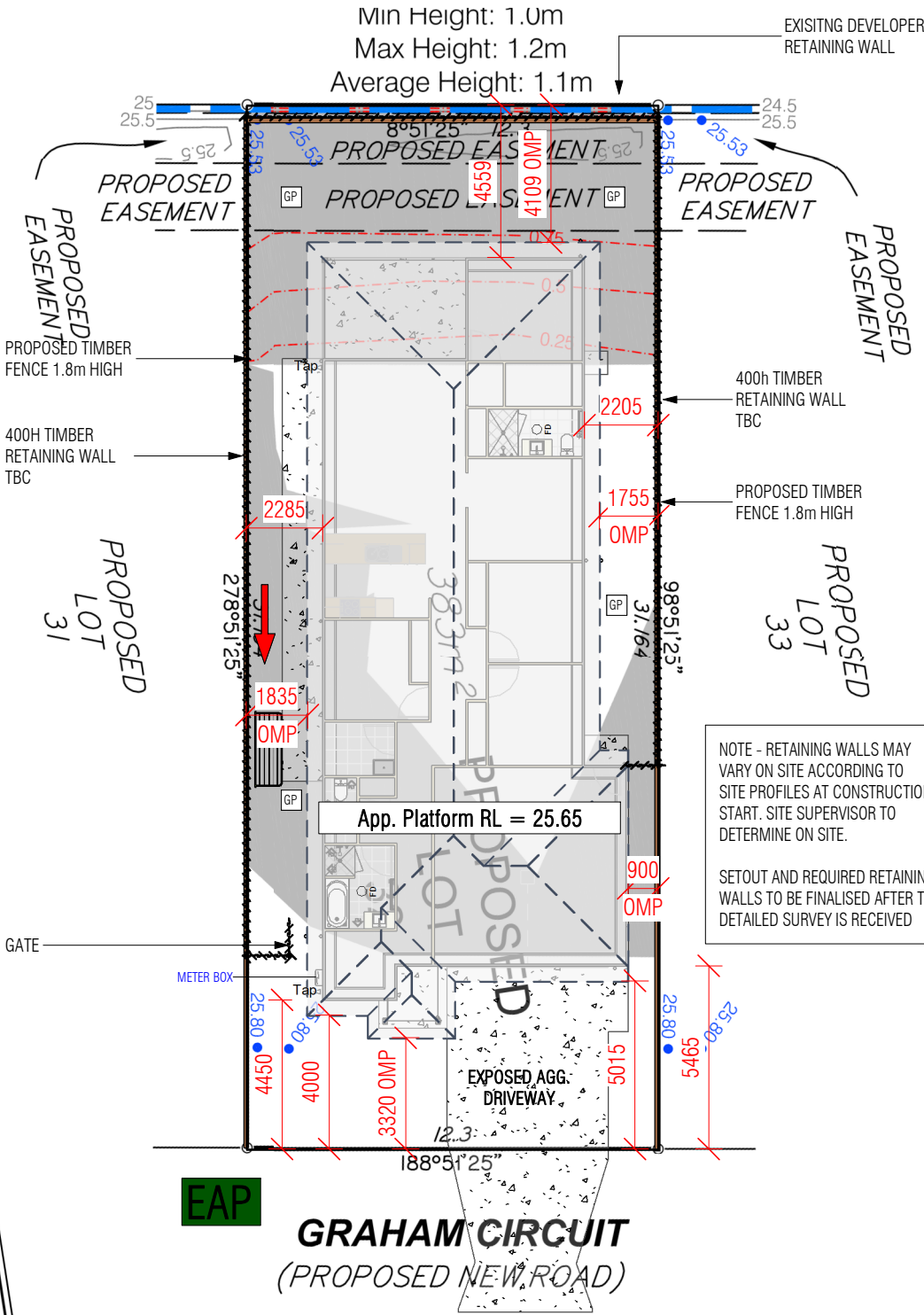
EMERGENCY ACTION PLAN

EAP

ASSEMBLY AREA

→

FOLLOW ARROWS



01 Site Plan
1 : 200

ACN 061 632 862 LIC. No. 71541

P.O. BOX 396

PARADISE POINT, QLD 4216

PHONE: 07-5501 3300 WEBSITE: www.choicehomes.com.au

FAX No: 07-5501 3399

Use figured dimensions at all times. Refer enquiries to **CHOICE HOMES (QLD) PTY LTD.** All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA.

The design, in part or whole, is subject to Choice Homes (QLD) Pty Ltd COPYRIGHT ©

SITE COVERAGE	46%
LOT AREA	383m ²
BUILDING SITE COVER	177m ²

STANDARD TEMPLATE

ROOF TYPE: COLORBOND ROOF

A	23.09.24	SITING
ISS	DATE	DESCRIPTION

SITING

SITE DETAILS:

Lot 32, GRAHAM Circuit, Logan Reserve, QLD

PROPERTY DETAILS

S.P NUMBER348856

HOUSE NAME:

MEMPHIS 4B (1)

HOUSE TYPE:

SINGLE STOREY

CLIENT:

CHOICE HOMES

CLIENTS SIGNATURE:

DATE:23.09.24	DWG Name
SCALE:As indicated	Site Plan
DRAWN:TB	DWG No:
CHECKED:TB	101
JOB No:032SRL01	ISSUE
	A

FENCE: PALING FENCE

RETAINING WALLS: TIMBER SLEEPERS UNO

LANDSCAPE: STANDARD LANDSCAPE

FACADE: STANDARD FACADE

FIRE WALL:

Site Plan

LEGEND	
W.I.R.	WALK IN ROBE
BRM	BROOM CUPBOARD
UBO	UNDER BENCH OVEN
DW	DISHWASHER
MW	MICROWAVE
F	FRIDGE SPACE
P	PANTRY
OHC	OVERHEAD CABINETS
DP	DOWN PIPE
SHS	SQUARE HOLLOW SECTION
tap	EXT. 12mm HOSE COCK
gas	NATURAL GAS POINT
FD	FLOOR WASTE
WH	HOT WATER SYSTEM
GWH	GAS HOT WATER SYSTEM
ISA	IONISATION SMOKE ALARM
MB	METER BOX
GM	GAS METER

ALL NON LOAD BEARING WALLS
TO BE AT 600 CTRS AND MGP10

Area Schedule		
Name	Area	Perimeter
Floor Area	162.49 m ²	62.58 m
Patio	12.81 m ²	14.54 m
Porch	2.11 m ²	6.33 m
Grand total: 3	177.41 m ²	

Internal Walls			
Type	Length	Area	Width
Stud 70	63.12 m	118.52 m ²	70
Stud 90	10.81 m	21.09 m ²	90

Floor Tiles	
Type	Area
Bath	2.74 m ²
Ensuite	2.22 m ²
Laundry	3.39 m ²
Main Floor	49.98 m ²
Shower	2.05 m ²
WC	1.84 m ²
	62.22 m ²

Carpet	
Type	Area
Carpet	56.62 m ²

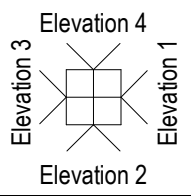
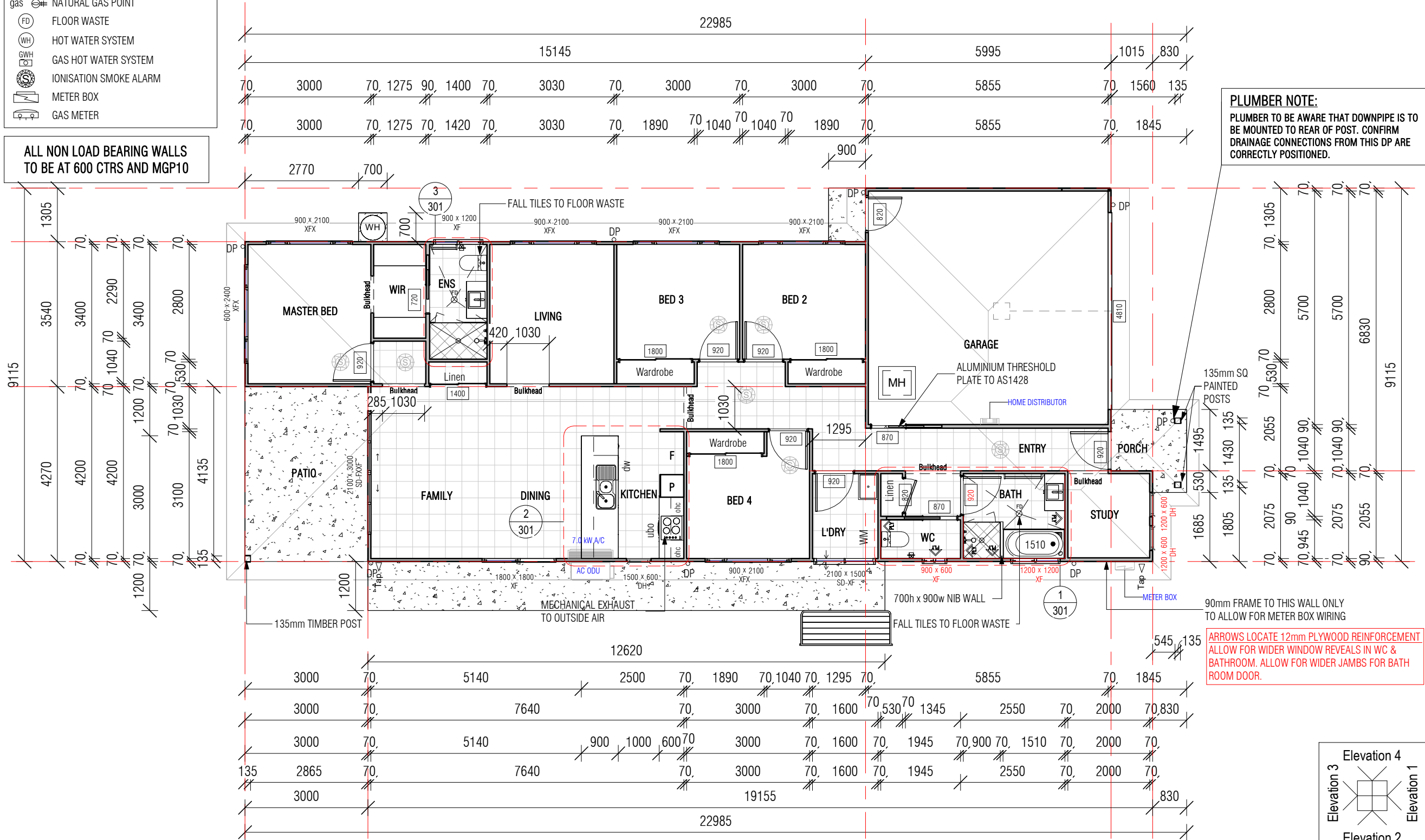
NOTE:
THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.

NOTE:
FINAL POSITION OF DOWNPIPES, METER BOX, GAS METER, GAS CONNECTIONS, TAPS, AC, AC ODU, WATER TANK, HOT WATER SYSTEM AND CLOTHESLINE MAY DIFFER TO PLAN DUE TO CONDITIONS ON SITE. (IF PART OF SPECIFICATION)

NBN REQUIREMENTS:
1 x HOME DISTRIBUTOR & POWER SUPPLY
2 X PHONE POINTS
2 X TV POINTS
2 X DATA POINT

PLUMBER NOTE:
PLUMBER TO BE AWARE THAT DOWNPIPE IS TO BE MOUNTED TO REAR OF POST. CONFIRM DRAINAGE CONNECTIONS FROM THIS DP ARE CORRECTLY POSITIONED.

ARROWS LOCATE 12mm PLYWOOD REINFORCEMENT
ALLOW FOR WIDER WINDOW REVEALS IN WC & BATHROOM. ALLOW FOR WIDER JAMBS FOR BATH ROOM DOOR.



Floor Plan

ACN 061 632 862 LIC. No. 71541
P.O. BOX 396
PARADISE POINT, QLD 4216
PHONE: 07-5501 3300 WEBSITE:
FAX No: 07-5501 3399 www.choicehomes.com.au

Use figured dimensions at all times. Refer enquiries to **CHOICE HOMES (QLD) PTY LTD.** All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA.
The design, in part or whole, is subject to Choice Homes (QLD) Pty Ltd COPYRIGHT ©

STANDARD TEMPLATE		
ROOF TYPE: COLORBOND ROOF		
A	23.09.24	SITING
ISS	DATE	DESCRIPTION
SITING		
SITE DETAILS: Lot 32, GRAHAM Circuit, Logan Reserve, QLD		
PROPERTY DETAILS S.P. NUMBER 348856		
HOUSE NAME: MEMPHIS 4B (1)		
HOUSE TYPE: SINGLE STOREY		
CLIENT: CHOICE HOMES		
CLIENTS SIGNATURE: _____		
DATE: 23.09.24	DWG Name	
SCALE: 1 : 100	Floor Plan	
DRAWN: TB	DWG No:	
CHECKED: TB	102	
JOB No: 032SRL01	ISSUE	
	A	

ROOF

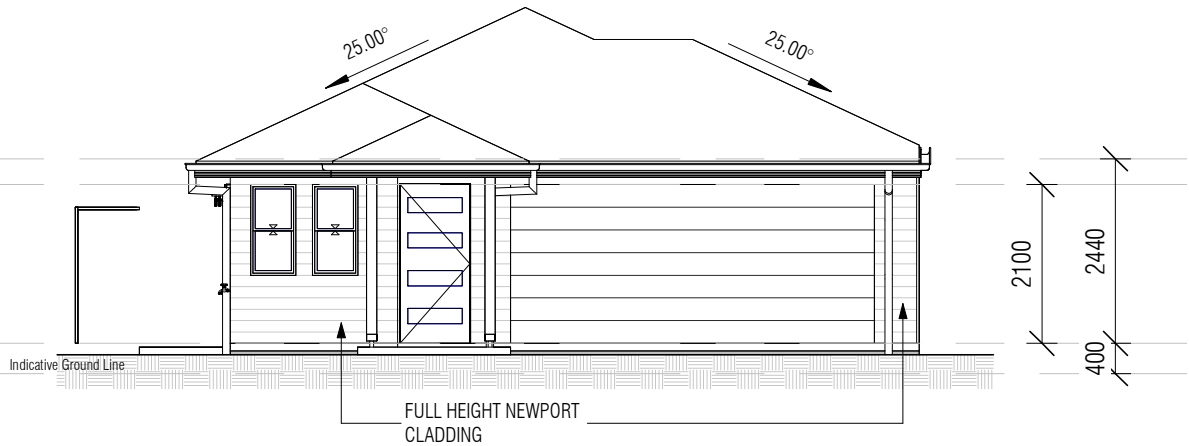
- REFER TO TITLE BLOCK FOR ROOF TYPE. TRUSSES @ 600CTS.
 - REFER TO ELEVATIONS AND ROOF PLAN FOR ROOF PITCH.
 - BATTENS FOR TILED ROOF AT 330 CTS OR TO SUIT TILE SELECTION.
 - BATTENS FOR COLORBOND ROOF AT 900CTS.
 - ALL FIXINGS AND INSTALLATION IN ACCORDANCE WITH MAUFACTURERS SPECIFICATIONS.
- NOTE:** BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

CLADDING & FINISHES

- SELECTED CLADDING EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE DRAWING.
- THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.

▼ Plate Height
▼ Head Height

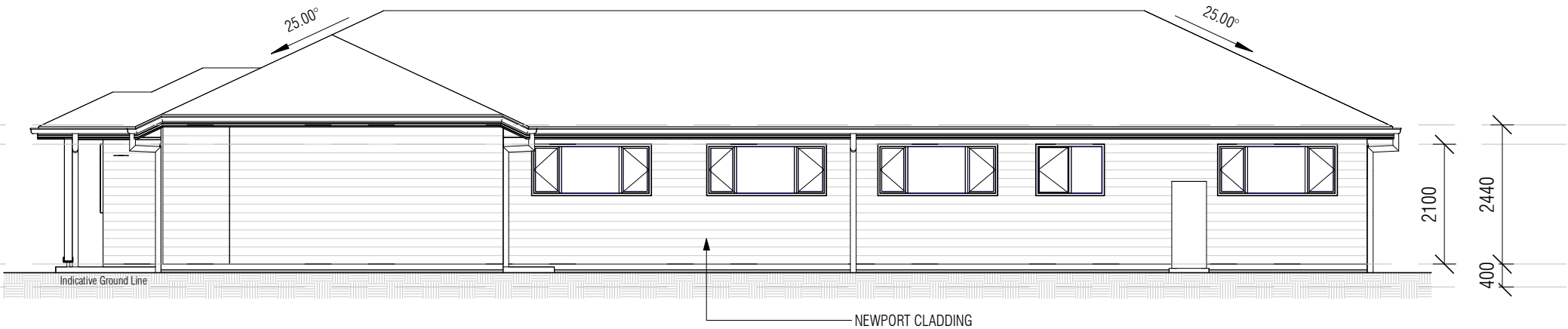
▼ 02 Floor Plan
▼ Platform



Elevation 1
1 : 100

▼ Plate Height
▼ Head Height

▼ 02 Floor Plan
▼ Platform



Elevation 2
1 : 100

Elevations

ACN 061 632 862 LIC. No. 71541
P.O. BOX 396
PARADISE POINT, QLD 4216
PHONE: 07-5501 3300 WEBSITE:
FAX No: 07-5501 3399 www.choicehomes.com.au

Use figured dimensions at all times. Refer enquiries to **CHOICE HOMES (QLD) PTY LTD.** All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA.
The design, in part or whole, is subject to Choice Homes (QLD) Pty Ltd COPYRIGHT ©

STANDARD TEMPLATE

ROOF TYPE: COLORBOND ROOF

A 23.09.24 SITING

ISS DATE DESCRIPTION

SITING

SITE DETAILS:
Lot 32, GRAHAM Circuit, Logan Reserve, QLD

PROPERTY DETAILS

S.P. NUMBER 348856

HOUSE NAME:
MEMPHIS 4B (1)

HOUSE TYPE:
SINGLE STOREY

CLIENT:
CHOICE HOMES

CLIENTS SIGNATURE:

DATE: 23.09.24

SCALE: 1 : 100

DRAWN: TB

CHECKED: TB

JOB No:
032SRL01

DWG Name

Elevations

DWG No:

201

ISSUE

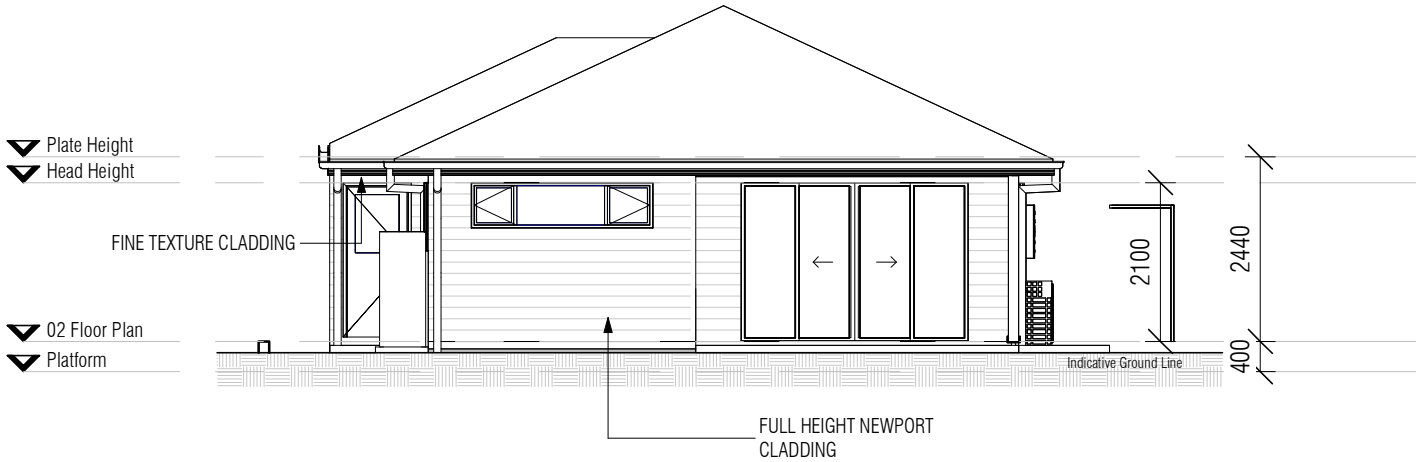
A

ROOF

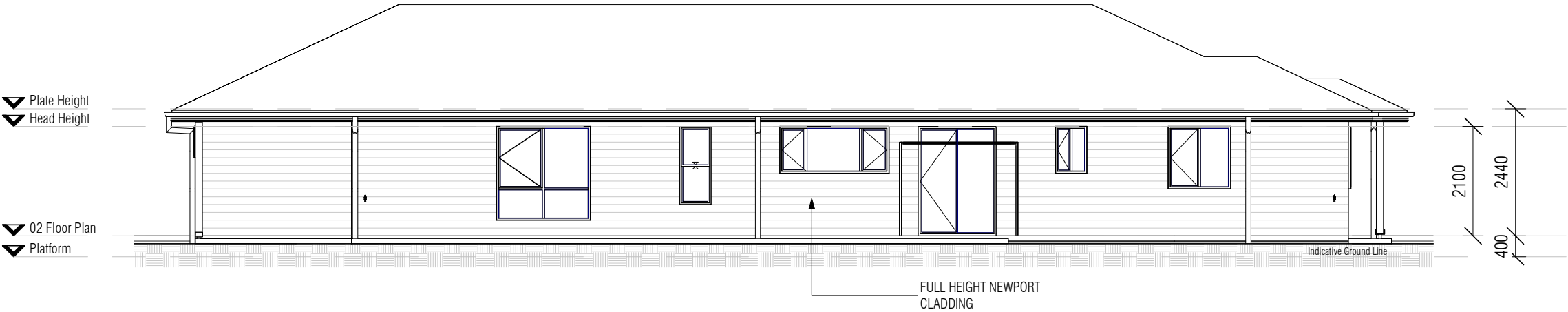
- REFER TO TITLE BLOCK FOR ROOF TYPE. TRUSSES @ 600CTS.
 - REFER TO ELEVATIONS AND ROOF PLAN FOR ROOF PITCH.
 - BATTENS FOR TILED ROOF AT 330 CTS OR TO SUIT TILE SELECTION.
 - BATTENS FOR COLORBOND ROOF AT 900CTS.
 - ALL FIXINGS AND INSTALLATION IN ACCORDANCE WITH MAUFACTURERS SPECIFICATIONS.
- NOTE:** BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

CLADDING & FINISHES

- SELECTED CLADDING EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE DRAWING.
- THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.



Elevation 3
1 : 100



Elevation 4
1 : 100

Elevations

ACN 061 632 862 LIC. No. 71541
P.O. BOX 396
PARADISE POINT, QLD 4216
PHONE: 07-5501 3300 WEBSITE:
FAX No: 07-5501 3399 www.choicehomes.com.au

Use figured dimensions at all times. Refer enquiries to **CHOICE HOMES (QLD) PTY LTD.** All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA.
The design, in part or whole, is subject to Choice Homes (QLD) Pty Ltd COPYRIGHT ©

STANDARD TEMPLATE

Estimation Details:

ROOF TYPE: COLORBOND ROOF

A 23.09.24 SITING

ISS DATE DESCRIPTION

SITING

SITE DETAILS:
Lot 32, GRAHAM Circuit, Logan Reserve, QLD

PROPERTY DETAILS

S.P. NUMBER 348856

HOUSE NAME:
MEMPHIS 4B (1)

HOUSE TYPE:
SINGLE STOREY

CLIENT:
CHOICE HOMES

CLIENTS SIGNATURE:

DATE: 23.09.24

SCALE: 1 : 100

DRAWN: TB

CHECKED: TB

JOB No:
032SRL01

DWG Name

Elevations

DWG No:

202

ISSUE

A



DATE: 23.09.24	DWG Name
SCALE: 1 : 100	Slab Plan
DRAWN: TB	DWG No:
CHECKED: TB	103
JOB No: 032SRL01	ISSUE A

October 2024

APPRAISAL OF RENTAL VALUE

"STONE RIDGE"

Logan Reserve Qld 4133

Key design features :

- 4 Bedrooms
- Main Bathroom + Ensuite
- Double Lock Up Remote Garage
- Brand New Home
- Tiled Air-conditioned Living + Dining
- Separate Carpeted Living Area
- Covered Outdoor Entertaining Area
- Landscaped, Fully Fenced Yard

Our team would be delighted to manage your investment and work to ensure your property is achieving the best possible rental price and maximizing your return on investment. We believe that you could expect to achieve **\$760.00-\$780.00 per week.**