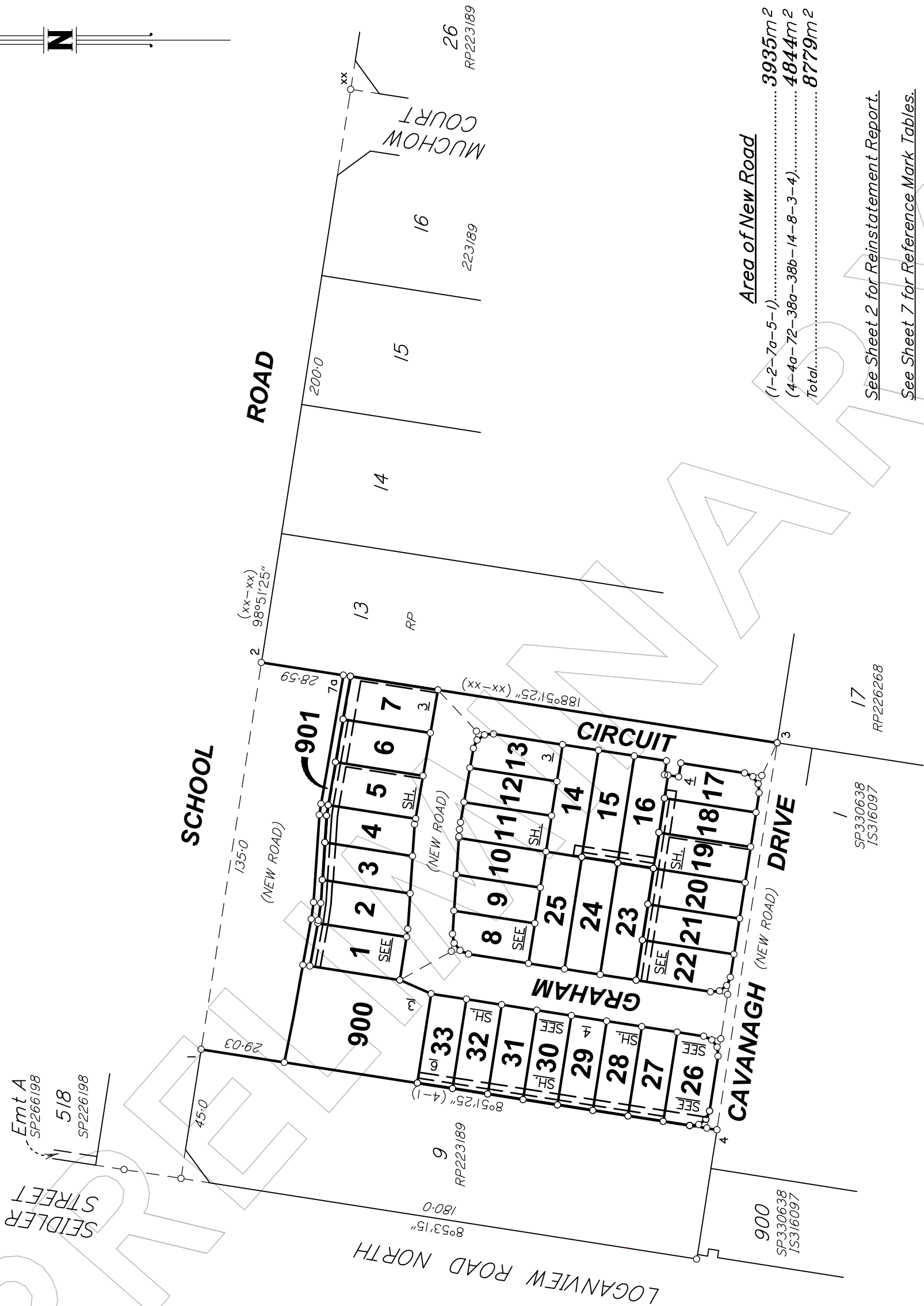


STONE RIDGE MASTER PLAN

Your future home awaits! Stone Ridge is a boutique community consisting of 33 pristine residential lots on School Road, Logan Reserve. With blocks ranging from 365m² to 456m², and all with minimum frontage of 12.0m, Stone Ridge provides a range of blocks and homes to suit every buyer and budget.





Area of New Road

(1-2-7a-5-1).....	3935m ²
(4-4a-72-38a-38b-14-8-3-4).....	4844m ²
Total.....	8779m ²

See Sheet 2 for Reinstatement Report.

See Sheet 7 for Reference Mark Tables.

Peg placed at all new corners
unless otherwise stated.

PRELIMINARY STATUS

ALL DIMENSIONS AND AREAS ON THIS PLAN ARE
SUBJECT TO SURVEY AND REQUIREMENTS FOR
LODGEMENT OF SURVEY PLANS IN THE
DEPARTMENT OF RESOURCES.



Brisbane Office
Level 11, Little Cribb St
Milton Qld 4064
PO Box 1399 Milton Qld 4064

p: (07) 3842 1000
e: info@landpartners.com.au
w: www.landpartners.com.au



0m 0	75m 50mm	150m 100mm	225m 150mm	State copyright reserved.
Plan of Lots 1-33, 900 & 901 and Easements A & B in Lot 1, Easements C & D in Lot 2, Easements E & F in Lot 3, Easements G & H in Lot 4, Easements I & J in Lot 5, Easements K & L in Lot 6, Easement M in Lot 7, Easement N in Lot 14, Easements O & P in Lot 15, Easements Q & R in Lot 16, Easement S in Lot 17, Easements T & U in Lot 18, Easements V & W in Lot 19, Easements X & Y in Lot 20, Easements Z & AA in Lot 21, Easements AB & AC in Lot 22, Easement AD in Lot 26, Easements AE & AF in Lot 27, Easements AG & AH in Lot 28, Easements AI & AJ in Lot 29, Easements AK & AL in Lot 30, Easements AM & AN in Lot 31, Easements AO & AP in Lot 32 and Easements AQ & AR in Lot 33 Cancelling Lots 10-12 on RP223189				Scale: 1:1500
LOCAL GOVERNMENT: LOGAN C.C. LOCALITY: LOGAN RESERVE				Format: STANDARD
Meridian: IS323546				Survey Records: No
				PRELIMINARY SP348856

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
17215038	Lot 10 on RP223189	1, 26–33, 900 & 901	New Rd	Emts A, B & AD–AR
17215039	Lot 11 on RP223189	1–5, 8–11, 14–16, 19–25 & 901	New Rd	Emts A–H, N–R & W–AC
17215040	Lot 12 on RP223189	5–7, 11–19 & 901	New Rd	Emts I–M & S–W

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
722248658	1–33, 900 & 901	–

Reinstatement Report

.....
.....
.....

6. Building Format Plans only.

I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining *lots and road

.....
Cadastral Surveyor/Director* Date
*delete words not required

7. Lodgement Fees :

Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

8. Insert Plan Number
SP348856

5. Passed & Endorsed :

By : LandPartners Pty Ltd
Date :
Signed :
Designation :

2. Orig Grant Allocation :

3. References :

Dept File :
Local Govt :
Surveyor : BRSS7994.000

1–33, 900 & 901

Por 47

Lots

Orig

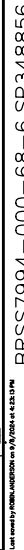
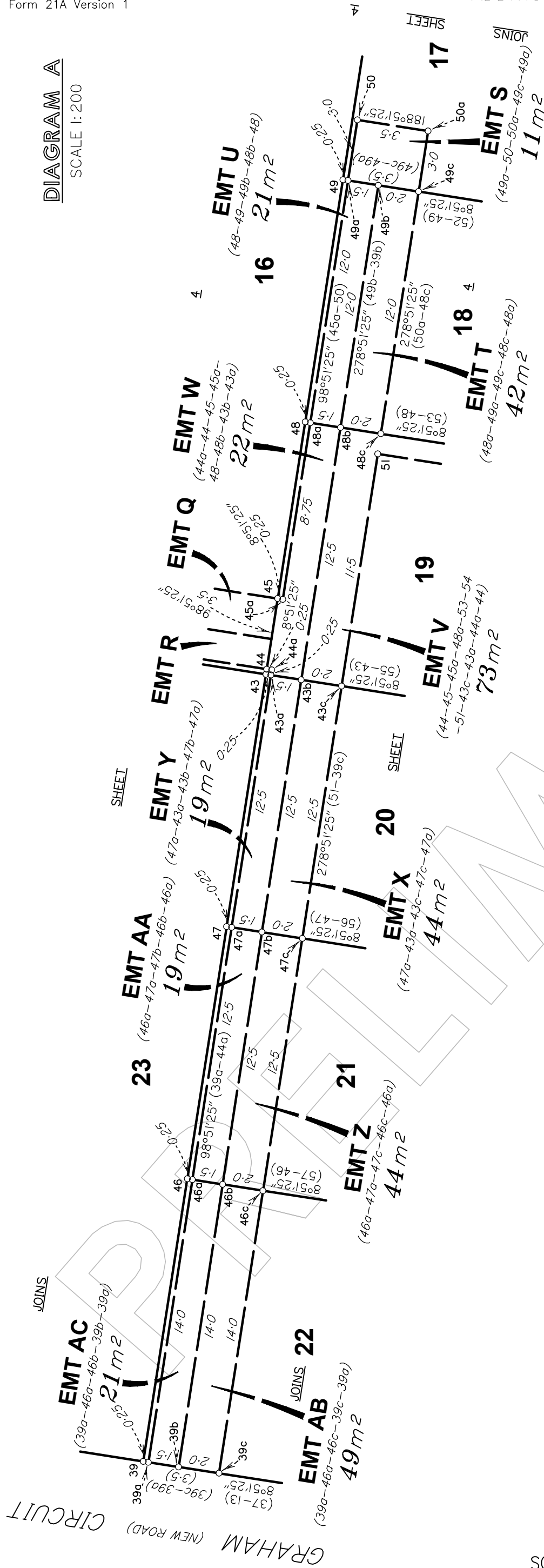




DIAGRAM A

SCALE 1:200



SCALE 1:200

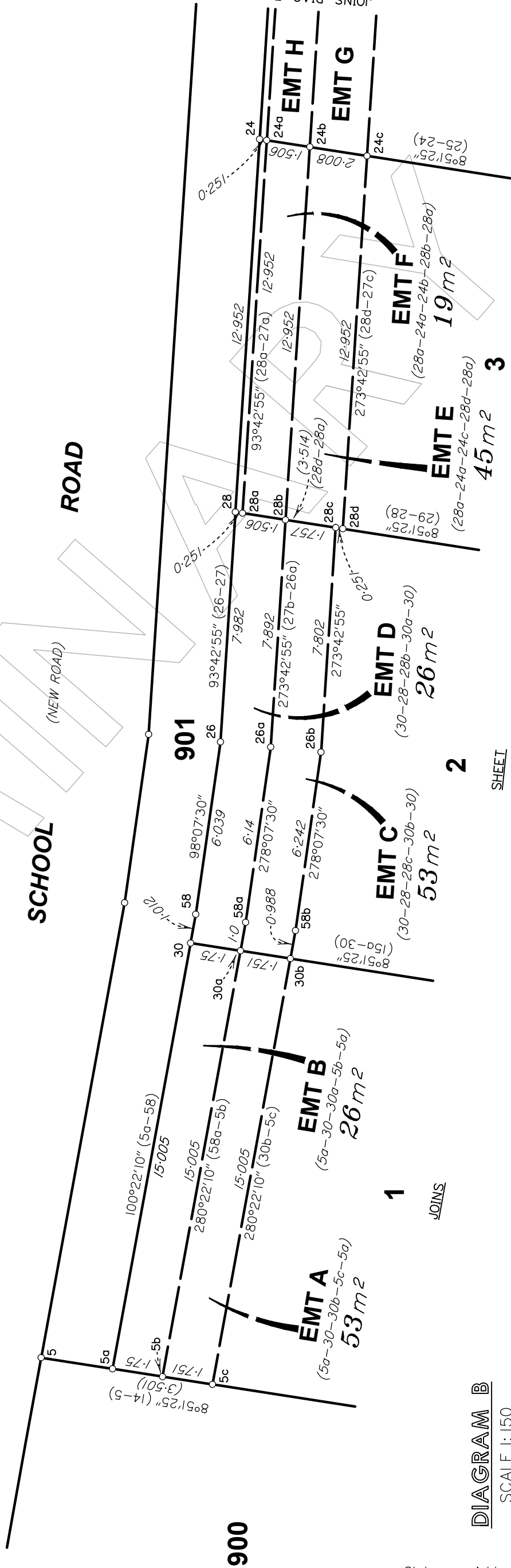
ROAD

SCHOOL

(NEW ROAD)

DIAGRAM B

SCALE 1:150



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Insert
Plan
Number

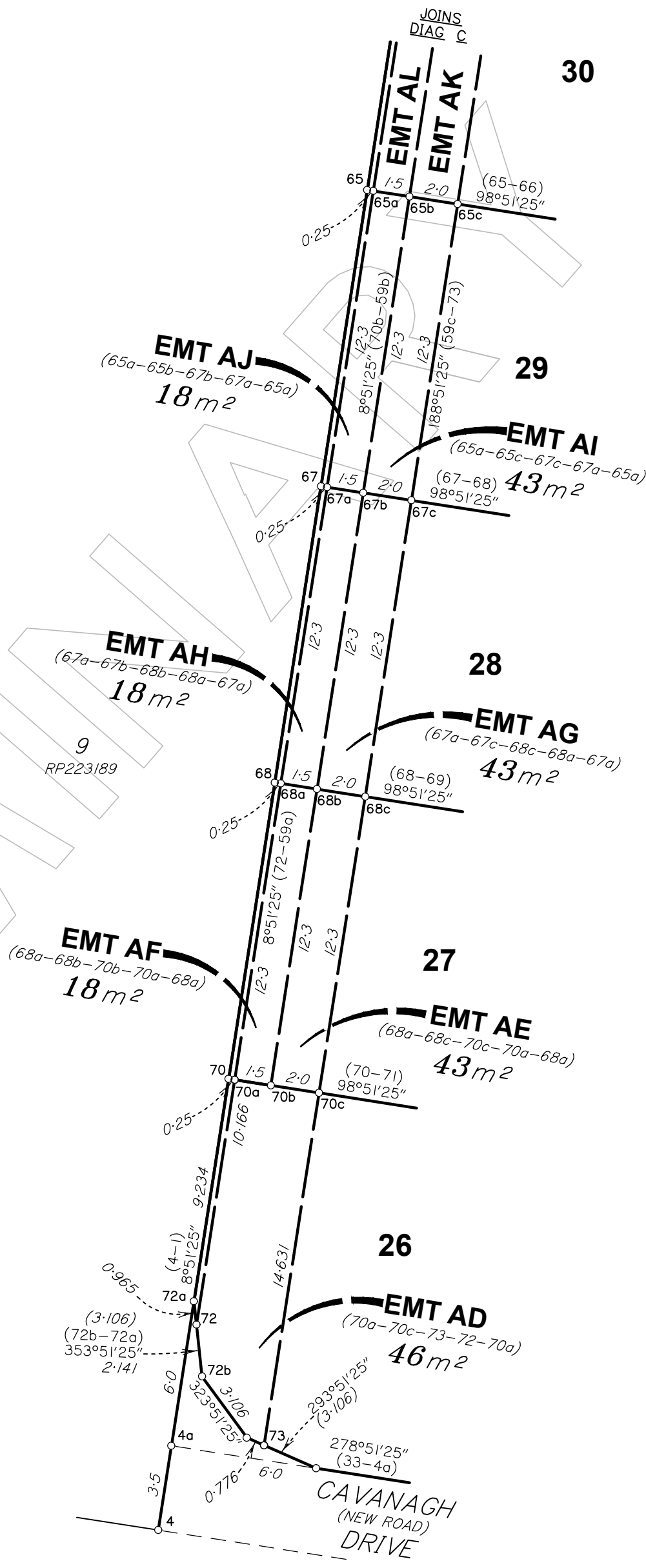
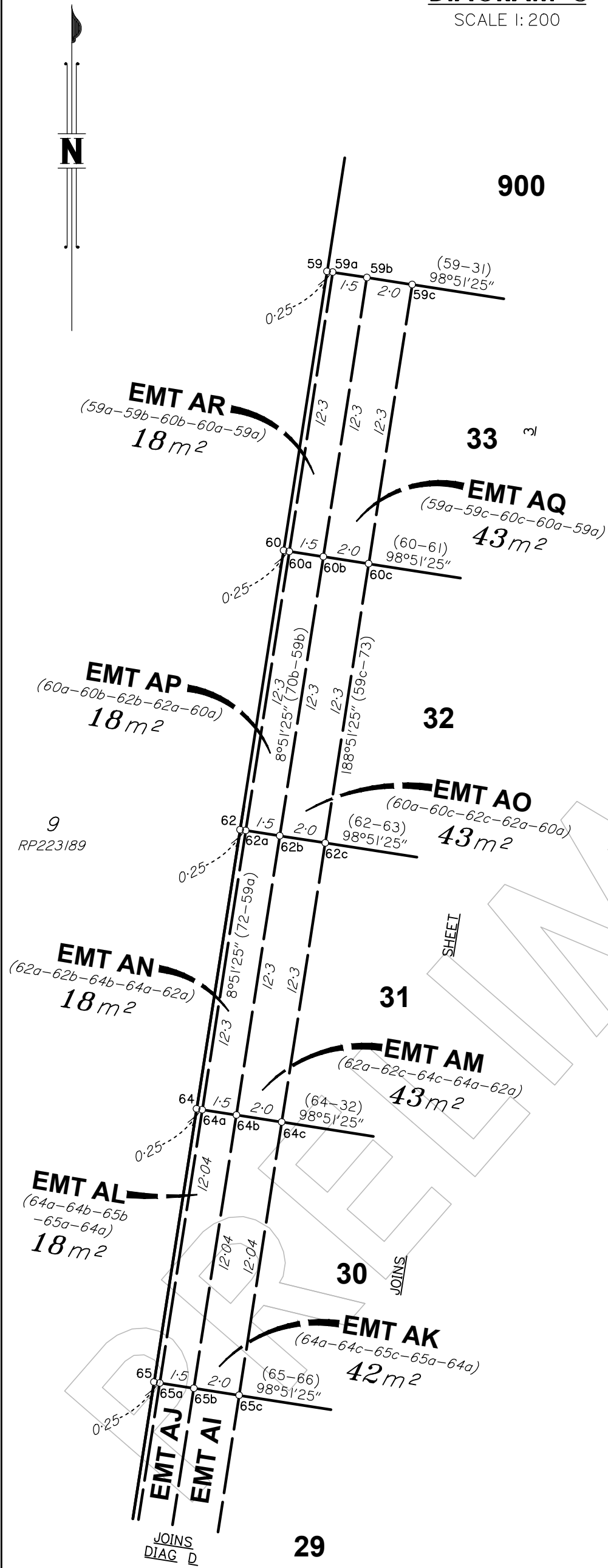
SP348856

DIAGRAM C

SCALE 1: 200

DIAGRAM D

SCALE 1: 200



SCALE 1: 200

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Insert Plan Number
SP348856



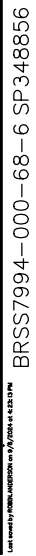
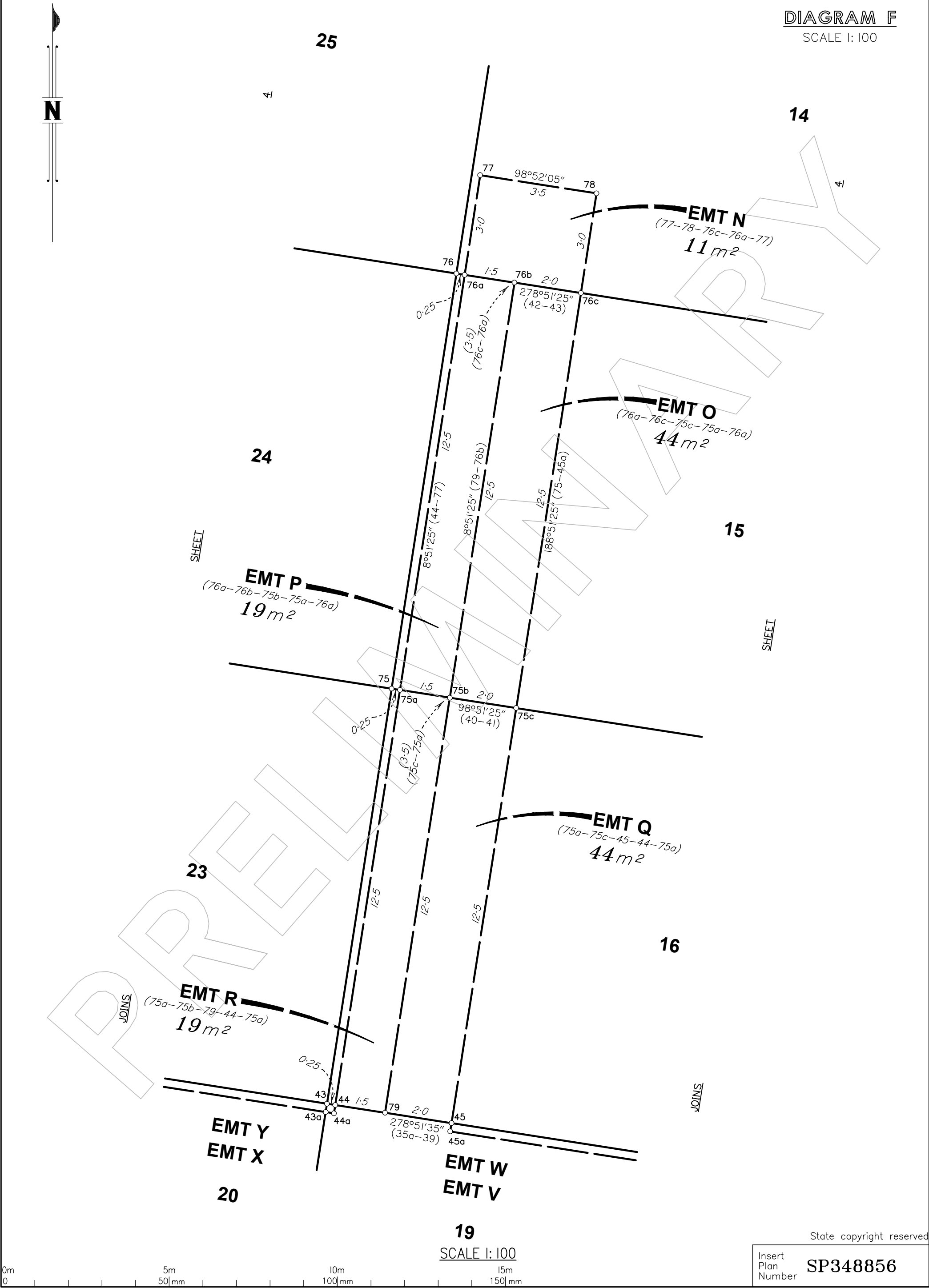


DIAGRAM F
SCALE 1:100



DISCOVER THE PERFECT
BLEND OF MODERN
LIVING AND STRATEGIC
INVESTMENT AT
STONE RIDGE.

The epitome of modern living at Stone Ridge, a premier residential development ideally located in Brisbane's Logan Reserve. With a limited offering of 33 lots, this exclusive estate is designed for owner occupier family living, and astute investor buyers seeking a blend of high-quality living and lucrative rental demand.



STONE
RIDGE





Burrowes State School 10min



St Francis College Crestmead 7min



St Philomena School 5min



Park Ridge Town Centre 8min



Crestmead Park 7min



STONE RIDGE

Bayes Park
& Dog park
7min

Crestmead
Early
Education
Centre
4min

Petrol
Station
4min

Moffatt
Park
6min

Home Park
5min

Bright Future
Early Education
Centre Park Ridge
4min



NEW Primary School
at 450 Park Ridge
Rd to open January
2025 5min



BRISBANE CBD
35min

NEW Woolworths,
Logan Reserve
Neighbourhood
Shopping Centre
to open mid 2024
4min

Findersia
River Park
4min

Logan Hospital
10min

Stoneleigh
Reserve
Park
2min

Seedlings &
Co. Child Care
1min

C&K Logan
Reserve
Community
Kindergarten
1min

Logan Reserve
State School
1min

Believe Early
Education
2min

Logan Reserve
Dog Park
3min

SCHOOL RD

CHAMBERS FLAT RD

RESIDENTIAL
DEVELOPMENT



GOLD COAST
50min

TOP EDUCATION FOR GROWING FAMILIES

Experience the perfect blend of education and healthcare at Stone Ridge.

Education & Healthcare

Surrounded by top-tier schools, this family-friendly neighbourhood ensures a nurturing environment for children, making it an ideal choice for families.

- Logan Reserve State School (1 min)
- St Francis College (7 mins)
- St Philomena School (5 mins)
- Burrowes State School (10 mins)
- Marsden State High School (6 mins)

Set to open in January 2025 is a new primary school located at 450 Park Ridge Road. With a budget of \$80.3 million, the school is now under construction and will feature state of the art facilities.

The neighbourhood is ideal for growing families, boasting two childcare facilities nearby – Edge Early Learning Crestmead and Crestmead Early Education Centre.

All of life's essentials are on the estate's doorstep, with seven medical facilities located within just a 10-minute drive, including Crestmead Medical Centre. Logan Hospital is only 15 minutes away providing residents with easy access to quality medical services. The hospital is currently undergoing a \$460 million expansion to increase its capacity in line with the Logan region's rapid population growth.



St Francis College, Crestmead



Marsden State High School, Waterford West



Artists impression

\$460 million Logan Hospital Expansion



Artists impression

Future primary school at 450 Park Ridge Road

PARK RIDGE ROAD

PARKS AND RECREATION, RIGHT IN YOUR BACKYARD

Surrounded by nearby parks and recreational spaces, Stone Ridge is ideal for families of all ages and lifestyles.

Parks & Recreation

With this new estate so close in proximity to the popular Crestmead Park, enjoying all that this vast play space has to offer will be easy with the following amenities within walking distance from your front door.

- Walking tracks
- Children's playground
- Basketball court
- Skate park
- Dog park
- Community garden
- Crestmead PCYC



Crestmead PCYC, Basketball Court and Skate Park



Crestmead Park Playground

A HUB FOR TRANSPORT AND EMPLOYMENT

The City of Logan is fast growing into a powerhouse region, backed by significant investment by the Queensland Government across infrastructure, health and education.

Transport & Employment

Stone Ridge offers a rare opportunity to invest in one of the regions strongest growth corridors as property values here continue to rise.

The estate is strategically positioned nearby both the Crestmead Industrial Park as well as the Crestmead Logistics Estate which is now under construction and will deliver up to 6,000 new jobs for residents of the region upon completion. This new industrial estate will be one of the largest in Queensland, offering 650,000sqm of warehousing, business, logistics and manufacturing space.

Shops, schools and major shopping centres are easy to access via the nearby M1 and M3.

Residents can also look forward to the PRC, a future transport link that will further connect development in the wider Park Ridge area to nearby centres like Browns Plains and Logan Central, allowing faster access to the Logan and Gateway Motorways.



VIBRANT SHOPPING AND ENTERTAINMENT, CLOSE TO HOME

Convenience and retail therapy abound with a host of retail precincts nearby.

Entertainment & Shopping

Residents will be well catered for with the Crestmead Shopping Centre, Kensington Fair, Logan Central Plaza, Marsden on Fifth and Home Co. Marsden just a short distance away.

The nearby Logan Hyperdome Shopping Centre boasts over 220 retailers and is Logan's ultimate shopping, restaurant, dining, and family fun experience. With a cinema and regular family events, it's the perfect weekend fun for the entire family!

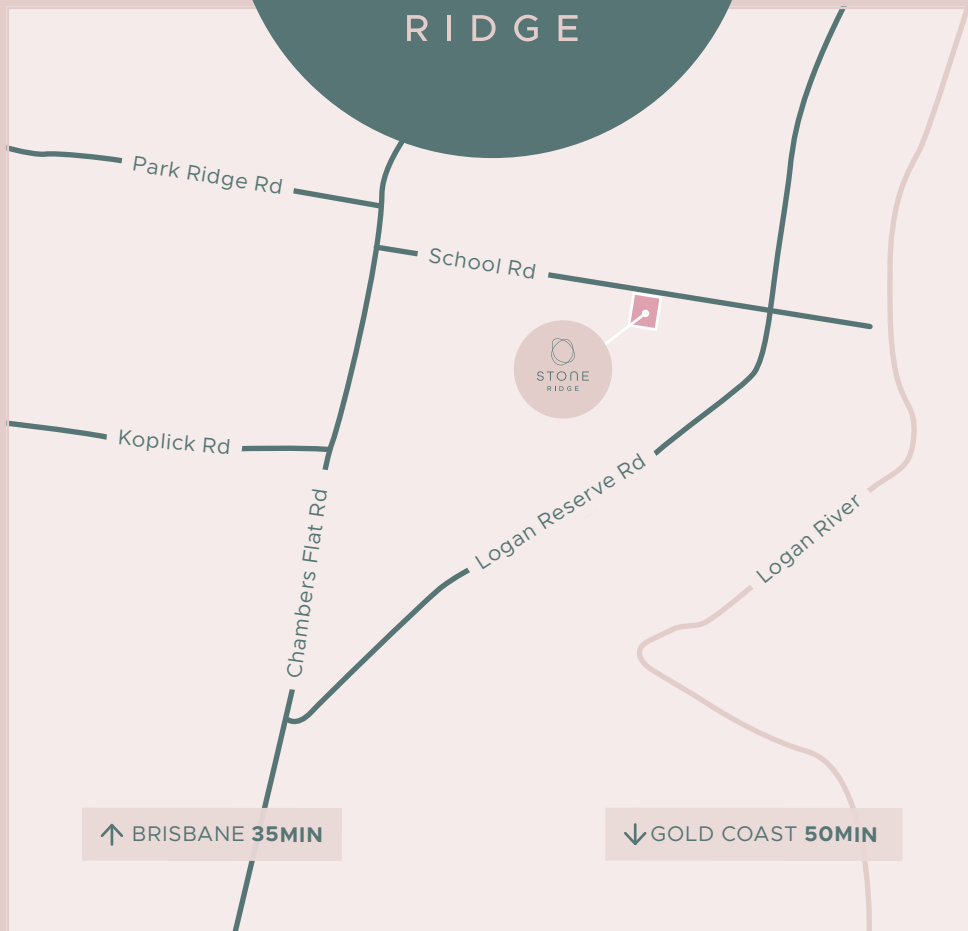
The all-new Logan Reserve Neighbourhood Shopping Centre is currently under construction and set to open early 2024. The 4000sqm shopping centre will feature a Woolworths supermarket and 15 specialty stores, including an alfresco dining precinct. The development is expected to create significant employment opportunities including 140 retail jobs on completion.



STONE RIDGE MASTER PLAN

Your future home awaits! Stone Ridge is a boutique community consisting of 33 pristine residential lots on School Road, Logan Reserve. With blocks ranging from 365m² to 456m², and all with minimum frontage of 12.0m, Stone Ridge provides a range of blocks and homes to suit every buyer and budget.







Slate

COLOUR SELECTION



EXTERNAL ROOFTILE



EXTERNAL COLORBOND

This scheme is a feast for the senses. A palette of greys allows you to build a home with exclusive appeal.

Brick House

Brick: Austral Silver Birch
Joints: Raked
Mortar: Natural

Rendered House

Feature Brick: Austral Sea Salt
Joints: Raked
Mortar: Natural

External Walls Render

Colour: Wattyl Opera Grey 28.50

Feature Render or Cladding

Colour: Wattyl Tempest 17.50

Roof

Roof Tile Colour: Barramundi
Tile Profile: Elabana
Colourbond® Roof: Standard profile
Colourbond® Colour: Colorbond Monument

Colour bond® Fascia & Gutter

Fascia Colour: Colorbond Night Sky
Gutter Colour: Colorbond Night Sky
Downpipe Colour: Colorbond Night Sky

Driveway / Paths: Exposed aggregate

Window / Flyscreen Frames

Colour: Custom Black

Garage Door

Type: Colourbond® Woodgrain Panelift
Style: Contemporary
Colour: Colorbond Monument

External Paint / Finishes

Metre Box: Colorbond Night Sky
Gable Trim: Colorbond Night Sky
Gables / Eave Lining: Colorbond Surfmist
Balustrading: Surfmist

Front Door Style: XV18 Paint Grade
Front Door / Frame: Wattyl Astor White 17.10
Entry Fixed Glass: Obscure
External Door Furniture: Stainless Steel
Front Door / Locks: Deadlock & Entry Set
Rear Door / Frame: Wattyl Astor White 17.10
Rear Door Locks: Deadlock & Entry Set

External Light Colour: White
Letterbox Colour: Colorbond Monument
Letterbox Style: Milk Can
Clothesline Colour: Colorbond Surfmist

- Kitchen Benchtop: Caesarstone Raven
- Edging: 20mm Arris
- Cupboard Fronts:**
- Cupboard Colour: Polytec Oyster Grey Matt
- Handle Style / Position:..... Choice Standard
- Appliances**
- Cooktop: Ceramic
- Oven / Rangehood: Stainless steel
- Kitchen Sink: Stainless steel with Flick Mixer
- Hot Water System: 250lt Energy Efficient
- Laundry Tub: White Metal with Stainless Steel Tub
- Tiles**
- Main Floor Tiles: 1256618 Omniform Grey 450 x 450
- Kitchen Splashback: 1006460 United Ice Grey Satin 100x300
- Laundry Splashback: 1006460 United Ice Grey Satin 100x300
- Laundry Skirting: 1256618 Omniform Grey 450 x 450
- Note: Splashback tiles laid 300 side horizontal brick bond.*

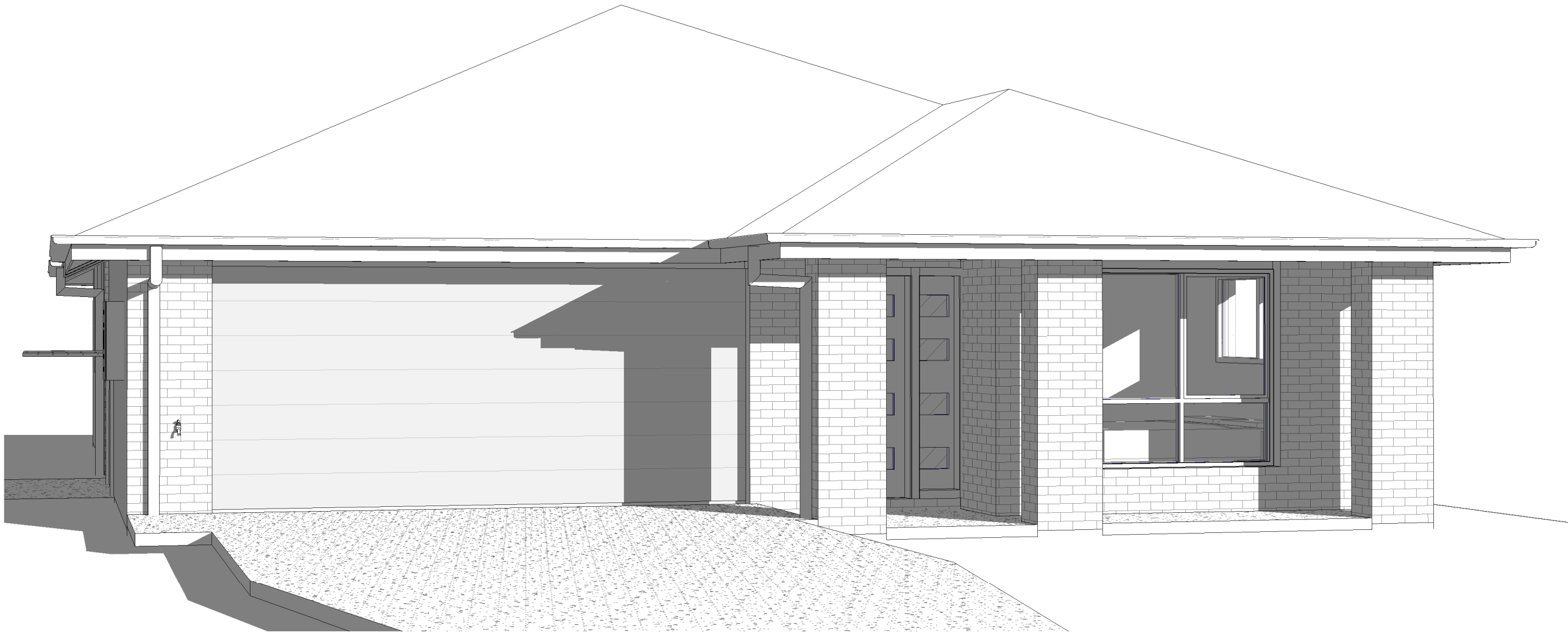


- Bathroom / ensuite**
- Vanity Benchtop: Caesarstone Raven
- Cupboard Fronts: Polytec Oyster Grey Matt
- Handle Style / Position:..... Choice Standard
- Tap Handles: Chrome
- Bathtub / Basin: White
- Mirror / Shower Frame:Chrome
- Shower Screen: Clear Laminated
- Shower Soap Holder: Chrome on Shower Rail
- Towel Rail: Chrome
- Toilet Roll Holder: Chrome
- Toilet Suite: White
- Bathroom Tiles**
- Shower Floor: 1256626 Omniform Grey 300 x 300
- Bathroom/Ensuite Floor: 1256618 Omniform Grey 450 x 450
- Note: Bath/Ensuite wall tiles laid stack bond.*
- Bathroom/Ensuite Walls: 1256618 Omniform Grey 450 x 450
- WC Skirting: 1256618 Omniform Grey 450 x 450



- Internal Paint / Finishes**
- Ceiling Cornice: Wattle White
- Wall Colour: Wattle Feather Dawn 19.40
- Wall Paint Type: Ultra ASU (1) ID ADV Low Sheen (2)
- Skirting / Architraves: Wattle Feather Dawn 19.40
- Internal Door Style: Redcoat
- Internal Door Colour: Wattle Feather Dawn 19.40
- Interior Door Furniture: Chrome
- Other Interior Paint / Finishes**
- Robe Frames: White
- Robe Inserts: SLQ Vinyl Glacier
- Light Switches: White
- Ceiling Fans: Brushed chrome
- Carpet: Beatstreet Pewter
- Verticals: Focus Coal





Perspective

ACN 061 632 862 LIC. No. 71541
P.O. BOX 396
PARADISE POINT, QLD 4216
PHONE: 07-5501 3300 WEBSITE:
FAX No: 07-5501 3399 www.choicehomes.com.au

Use figured dimensions at all times. Refer enquiries to **CHOICE HOMES (QLD) PTY LTD**. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA.
The design, in part or whole, is subject to Choice Homes (QLD) Pty Ltd COPYRIGHT ©

Estimation Details:	STANDARD TEMPLATE	
ROOF TYPE: COLORBOND ROOF		
A	19.09.24	SITING
ISS	DATE	DESCRIPTION
SITING		
SITE DETAILS: LOT 2 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD		
PROPERTY DETAILS		
S.P NUMBER		348856
HOUSE NAME: COSBIE (1) HIP LHS		
HOUSE TYPE: SINGLE STOREY		
CLIENT: CHOICE HOMES		
CLIENTS SIGNATURE:		
DATE:	19.09.24	DWG Name Perspective
SCALE:		
DRAWN:	TB	DWG No: 000
CHECKED:	TB	
JOB No:	002SLR01	ISSUE A

1. EARTHWORKS

- a) Cut and fill indicated on plan may vary at construction stage and builder is to verify and adjust as required.
- b) Any variation at construction stage is to comply with Council policy on earthworks/drainage for residential sites.
- c) Site works indicated on this plan are for construction purposes only.

2. RETAINING WALLS & FENCES

- a) All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites.
- b) Position of retaining wall may vary and must be verified by builder prior to commencement.
- c) Any variation at construction stage to comply with Council policy.
- d) Retaining walls may not align with property boundary's. Fences are located on retaining walls.

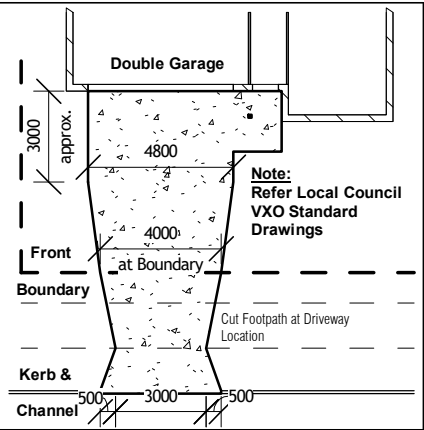
3. CONTOURS AND LEVELS

- a) Contours and levels shown on plan are taken from levels supplied by contour surveyor and no responsibility is taken for accuracy or cut and fill levels.

RETAINING WALL, DRIVEWAY, LANDSCAPE QUANTITIES & DIMENSIONS, MAY VARY ON SITE TO SUIT AS-CONSTRUCTED SITE DETAILS AND CONTOURS.

4. STORMWATER

- a) Drainage is calculated for this proposed development only and may not be adequate for any subsequent roofed or paved areas.
- b) Minimum 100x75 or 100Ø downpipes at a rate of 1 per 40m² of roof area, discharging into 100Ø stormwater pipework connecting yard gullies.
- c) Minimum grade of 1% to kerb adapter or rubble pit if applicable .



Typ. Driveway Layout

External Concrete	
Type	Area
Porch & Path	6.65 m ²
Patio	11.25 m ²
Driveway	50.30 m ²
AC ODU	0.98 m ²
Water Heater	0.49 m ²
Clothesline	7.78 m ²
Grand total: 6	77.45 m ²

Retaining Walls		
Type	Length	Area
Timber Retaining Wall	45.95 m	18.37 m ²
Timber Sleeper on Fence	30.50 m	6.11 m ²

NO ACOUSTIC REQUIREMENTS

NO BUSHFIRE REQUIREMENTS

ENERGY EFFICIENCY REQ'S NCC 2022

- R2.5 INSULATION INSTALLED TO ENTIRE CEILING INCLUDING PATIO.
- SARKING INSTALLED TO ALL WALLS
- 1.5 INSULATION BATTS TO ALL EXTERNAL WALLS WITH CLADDING
- CEILING FAN TO PATIO
- HEAT PUMP TO HOT WATER UNIT
- REFER TO ENERGY EFFICIENCY REPORT FOR ANY ADDITIONAL REQUIREMENTS

EMERGENCY ACTION PLAN

- EAP** ASSEMBLY AREA
- FOLLOW ARROWS



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SITE COVERAGE	41%
LOT AREA	461m ²
BUILDING SITE COVER	187m ²

STANDARD TEMPLATE	
Estimation Details:	
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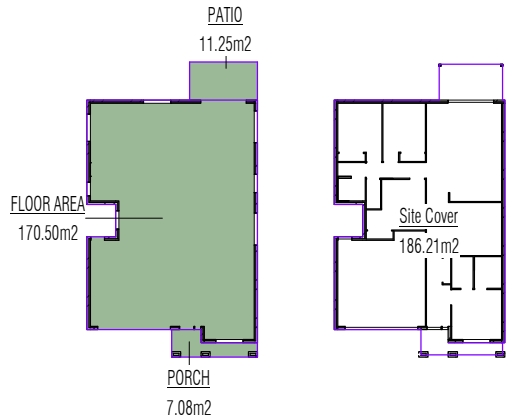
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ISS	DATE	DESCRIPTION

SITING	
SITE DETAILS:	
LOT 2 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD	

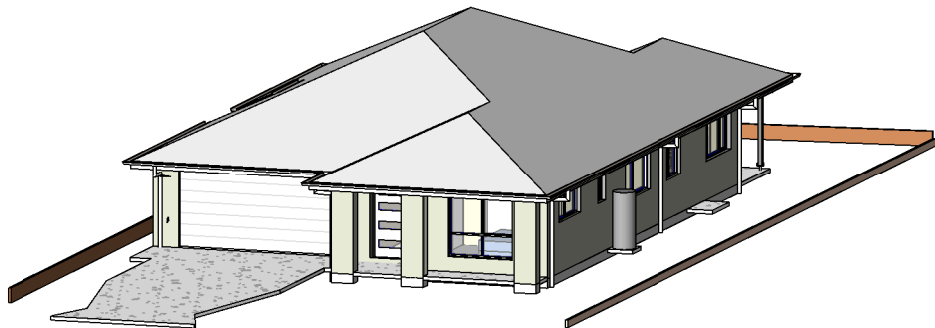
PROPERTY DETAILS	
S.P NUMBER	348856
HOUSE NAME:	
COSBIE (1) HIP LHS	
HOUSE TYPE:	
SINGLE STOREY	

CLIENT:	
CHOICE HOMES	

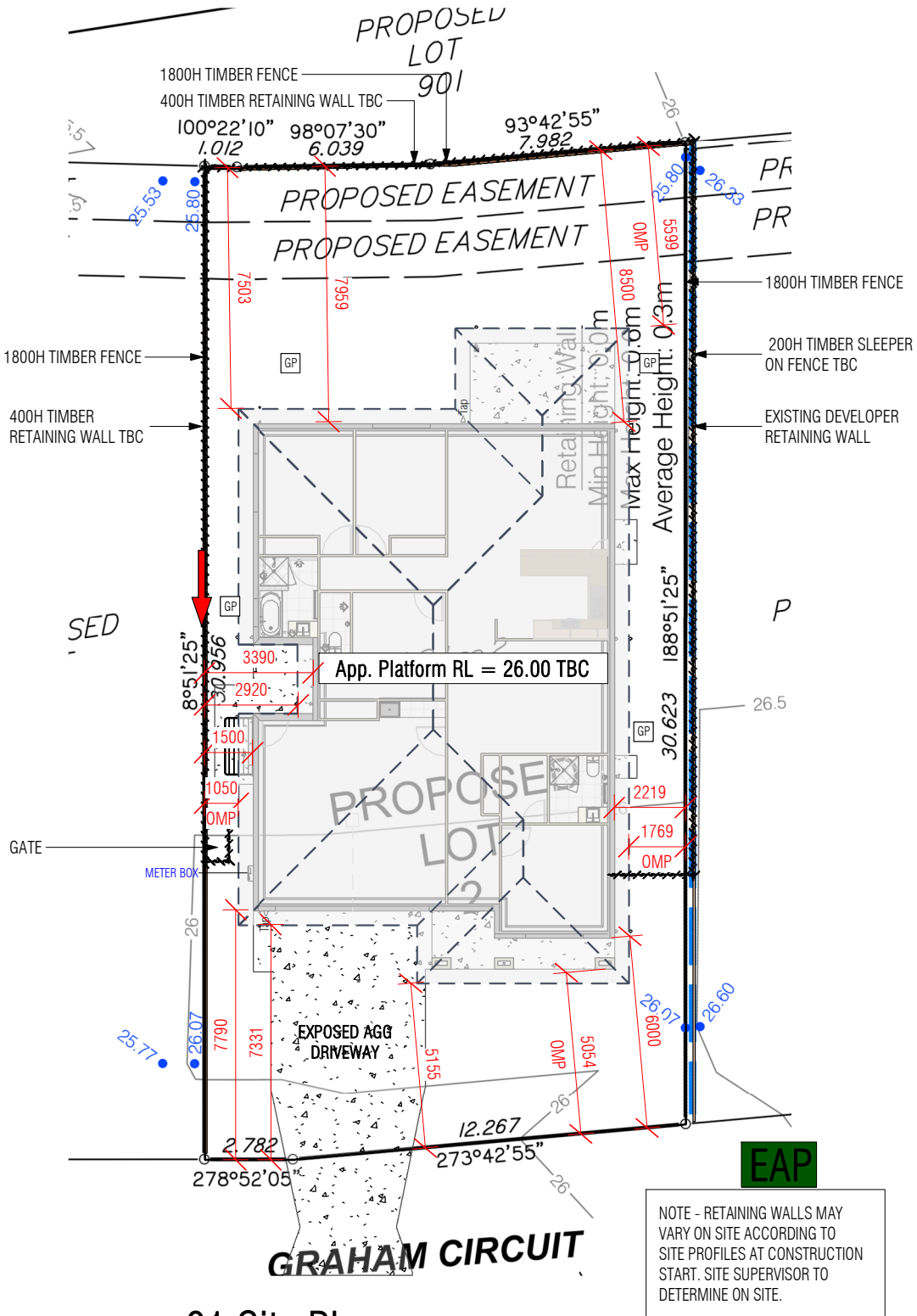
CLIENTS SIGNATURE:	
DATE: 19.09.24	DWG Name
SCALE: As indicated	Site Plan
DRAWN: TB	DWG No:
CHECKED: TB	101
JOB No: 002SLR01	ISSUE
	A



Area Plan
1 : 500



Site 3D



01 Site Plan
1 : 200

FENCE: PALING FENCE

RETAINING WALLS: TIMBER SLEEPERS UNO

LANDSCAPE: STANDARD LANDSCAPE

FACADE: STANDARD FACADE

FIRE WALL:

Site Plan

LEGEND

- W.I.R. WALK IN ROBE
BRM BROOM CUPBOARD
UBO UNDER BENCH OVEN
DW DISHWASHER
MW MICROWAVE
F FRIDGE SPACE
P PANTRY
OHC OVERHEAD CABINETS
DP DOWN PIPE
SHS SQUARE HOLLOW SECTION
tap EXT. 12mm HOSE COCK
gas NATURAL GAS POINT
 FLOOR WASTE
 HOT WATER SYSTEM
 GAS HOT WATER SYSTEM
 IONISATION SMOKE ALARM
 METER BOX
 GAS METER

Area Schedule		
Name	Area	Perimeter
FLOOR AREA	170.50 m²	58.44 m
PATIO	11.25 m²	14.00 m
PORCH	7.08 m²	15.00 m
Grand total: 3	188.83 m²	

Internal Walls			
Type	Length	Area	Width
Stud 70	62.14 m	119.93 m²	70
Stud 90	3.98 m	5.89 m²	90
Stud 140	1.01 m	0.63 m²	140

Floor Tiles	
Type	Area
Bath	2.21 m²
Ensuite	2.75 m²
Laundry	1.24 m²
Main Floor	43.78 m²
Shower	1.62 m²
WC	1.84 m²
	53.43 m²

Carpet	
Type	Area
Carpet	61.96 m²

NOTE:
THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.

NBN REQUIREMENTS:
1 x HOME DISTRIBUTOR & POWER SUPPLY
2 X PHONE POINTS
2 X TV POINTS
2 X DATA POINT

NOTE:
FINAL POSITION OF DOWNPIPES, METER BOX, GAS METER, GAS CONNECTIONS, TAPS, AC, AC ODU, WATER TANK, HOT WATER SYSTEM AND CLOTHESLINE MAY DIFFER TO PLAN DUE TO CONDITIONS ON SITE. (IF PART OF SPECIFICATION)

ALL NON LOAD BEARING WALLS
TO BE AT 600 CTRS AND MGP10

ACN 061 632 862 LIC. No. 71541
P.O. BOX 396
PARADISE POINT, QLD 4216
PHONE: 07-5501 3300 WEBSITE:
FAX No: 07-5501 3399 www.choicehomes.com.au

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STANDARD TEMPLATE

Estimation Details:

ROOF TYPE: COLORBOND ROOF

A 19.09.24 SITING

SITE DETAILS:
LOT 2 GRAHAM CIRCUIT
STONE RIDGE ESTATE
LOGAN RESERVE QLD

PROPERTY DETAILS
S.P NUMBER 348856

HOUSE NAME:
COSBIE (1) HIP LHS

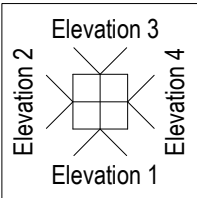
HOUSE TYPE:
SINGLE STOREY

CLIENT:
CHOICE HOMES

CLIENTS SIGNATURE:

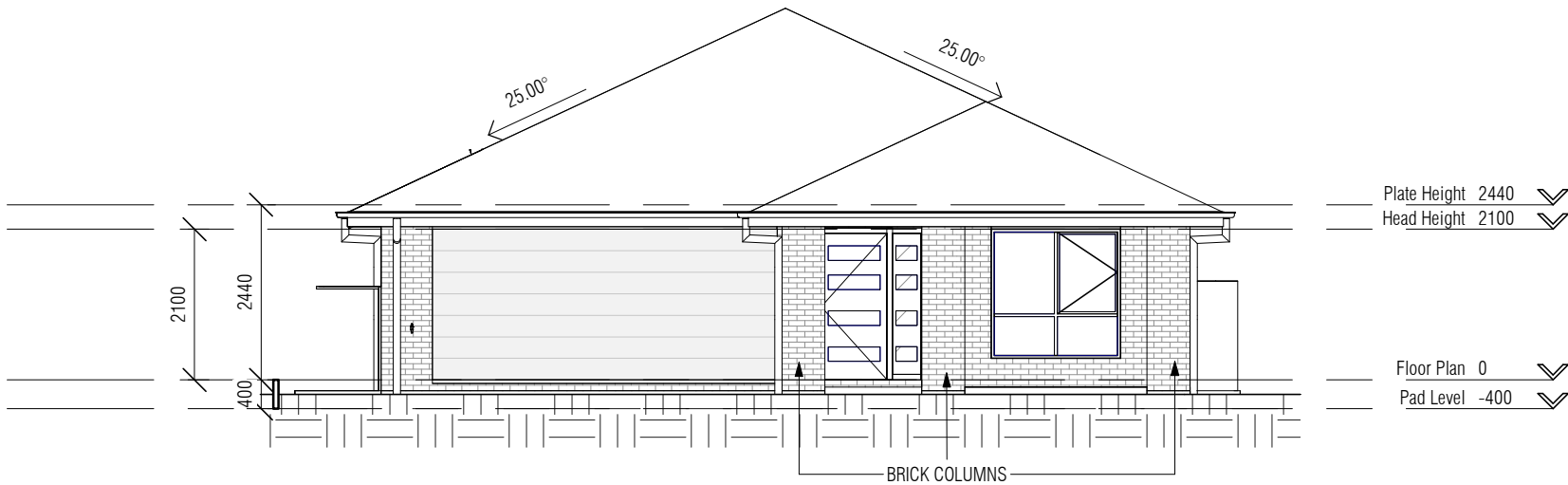
DATE: 19.09.24	DWG Name
SCALE: 1 : 100	Floor Plan
DRAWN: TB	DWG No:
CHECKED: TB	102
JOB No: 002SLR01	ISSUE
	A

Floor Plan

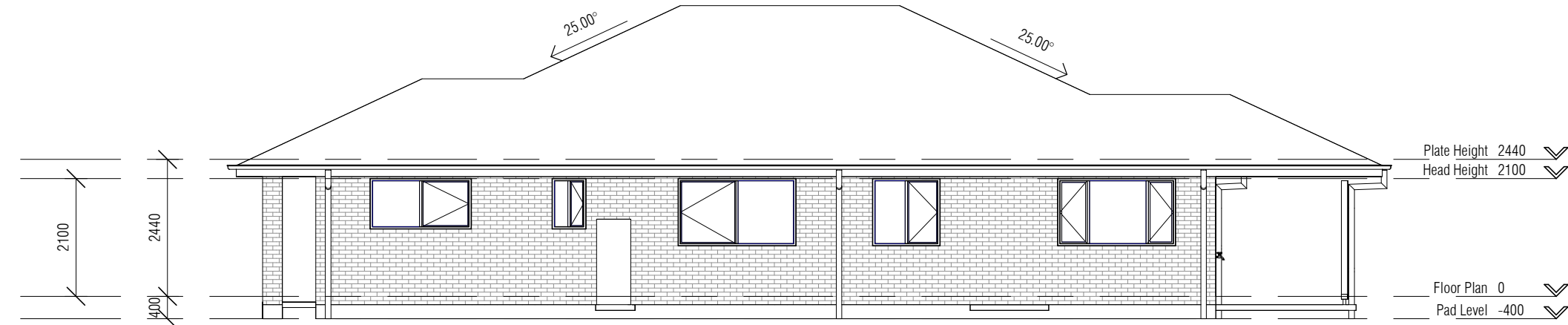


12mm PLYWOOD REINFORCEMENT
ALLOW FOR WIDER WINDOW REVEALS IN BATHROOM.
ALLOW FOR WIDER DOOR JAMB FOR BATHROOM DOOR





Elevation 1
1 : 100



Elevation 2
1 : 100

- ROOF**

 - REFER TO TITLE BLOCK FOR ROOF TYPE. TRUSSES @ 600CTS.
 - REFER TO ELEVATIONS AND ROOF PLAN FOR ROOF PITCH.
 - BATTENS FOR TILED ROOF AT 330 CTS OR TO SUIT TILE SELECTION.
 - BATTENS FOR COLORBOND ROOF AT 900CTS.
 - ALL FIXINGS AND INSTALLATION IN ACCORDANCE WITH MAUFACTURERS SPECIFICATIONS.

NOTE: BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- CLADDING & FINISHES**

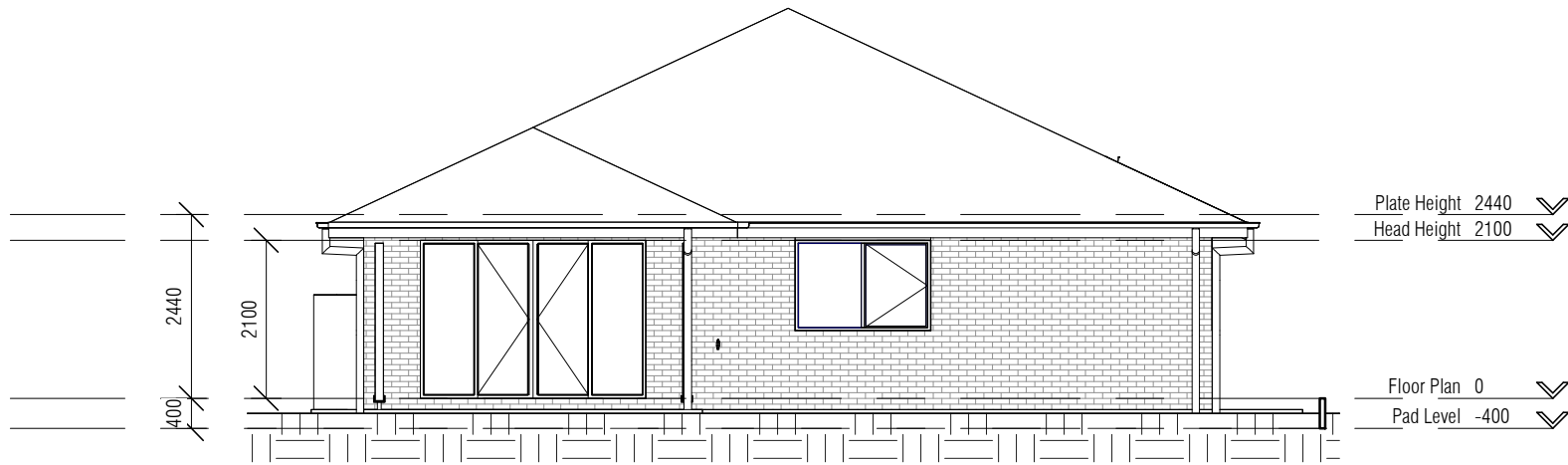
 - FACE BRICK EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE DRAWING.
 - PAINTED FC ABOVE WINDOW & DOOR HEADS UNO.
 - THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.

ACN 061 632 862 LIC. No. 71541
P.O. BOX 396
PARADISE POINT, QLD 4216
PHONE: 07-5501 3300 WEBSITE:
FAX No: 07-5501 3399 www.choicehomes.com.au

Use figured dimensions at all times. Refer enquiries to **CHOICE HOMES (QLD) PTY LTD.** All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA.
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Estimation Details:	STANDARD TEMPLATE	
ROOF TYPE: COLORBOND ROOF		
A	19.09.24	SITING
ISS	DATE	DESCRIPTION
SITE DETAILS:		
LOT 2 GRAHAM CIRCUIT		
STONE RIDGE ESTATE		
LOGAN RESERVE QLD		
PROPERTY DETAILS		
S.P NUMBER		348856
HOUSE NAME:		
COSBIE (1) HIP LHS		
HOUSE TYPE:		
SINGLE STOREY		
CLIENT:		
CHOICE HOMES		
CLIENTS SIGNATURE:		
DATE: 19.09.24		DWG Name
SCALE: 1 : 100		Elevations
DRAWN: TB		DWG No:
CHECKED: TB		201
JOB No:		ISSUE
002SLR01		A

Elevations



Elevation 3
1 : 100



Elevation 4
1 : 100

- ROOF**

 - REFER TO TITLE BLOCK FOR ROOF TYPE. TRUSSES @ 600CTS.
 - REFER TO ELEVATIONS AND ROOF PLAN FOR ROOF PITCH.
 - BATTENS FOR TILED ROOF AT 330 CTS OR TO SUIT TILE SELECTION.
 - BATTENS FOR COLORBOND ROOF AT 900CTS.
 - ALL FIXINGS AND INSTALLATION IN ACCORDANCE WITH MAUFACTURERS SPECIFICATIONS.

NOTE: BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- CLADDING & FINISHES**

 - FACE BRICK EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE DRAWING.
 - PAINTED FC ABOVE WINDOW & DOOR HEADS UNO.
 - THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.

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STANDARD TEMPLATE		
Estimation Details:		
ROOF TYPE: COLORBOND ROOF		
A	19.09.24	SITING
ISS	DATE	DESCRIPTION
SITE DETAILS: LOT 2 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD		
PROPERTY DETAILS		
S.P NUMBER		348856
HOUSE NAME: COSBIE (1) HIP LHS		
HOUSE TYPE: SINGLE STOREY		
CLIENT: CHOICE HOMES		
CLIENTS SIGNATURE: _____		
DATE:	19.09.24	DWG Name Elevations
SCALE:	1 : 100	
DRAWN:	TB	DWG No: 202
CHECKED:	TB	
JOB No:	002SLR01	ISSUE A

Elevations

G:\LOGAN RESERVE - Stone Ridge (school rd)\9. SITING\RT\2 GRAHAM (A) COSBIE (1) HIP MCC 2022 LHS 2024.rvt

October 2024

APPRAISAL OF RENTAL VALUE

“STONE RIDGE”

Logan Reserve Qld 4133

Key design features :

- 4 Bedrooms
- Main Bathroom + Ensuite
- Double Lock Up Remote Garage
- Brand New Home
- Tiled Air-conditioned Living + Dining
- Separate Carpeted Living Area
- Covered Outdoor Entertaining Area
- Landscaped, Fully Fenced Yard

We believe that you could expect to achieve **\$760.00-\$780.00 per week.**