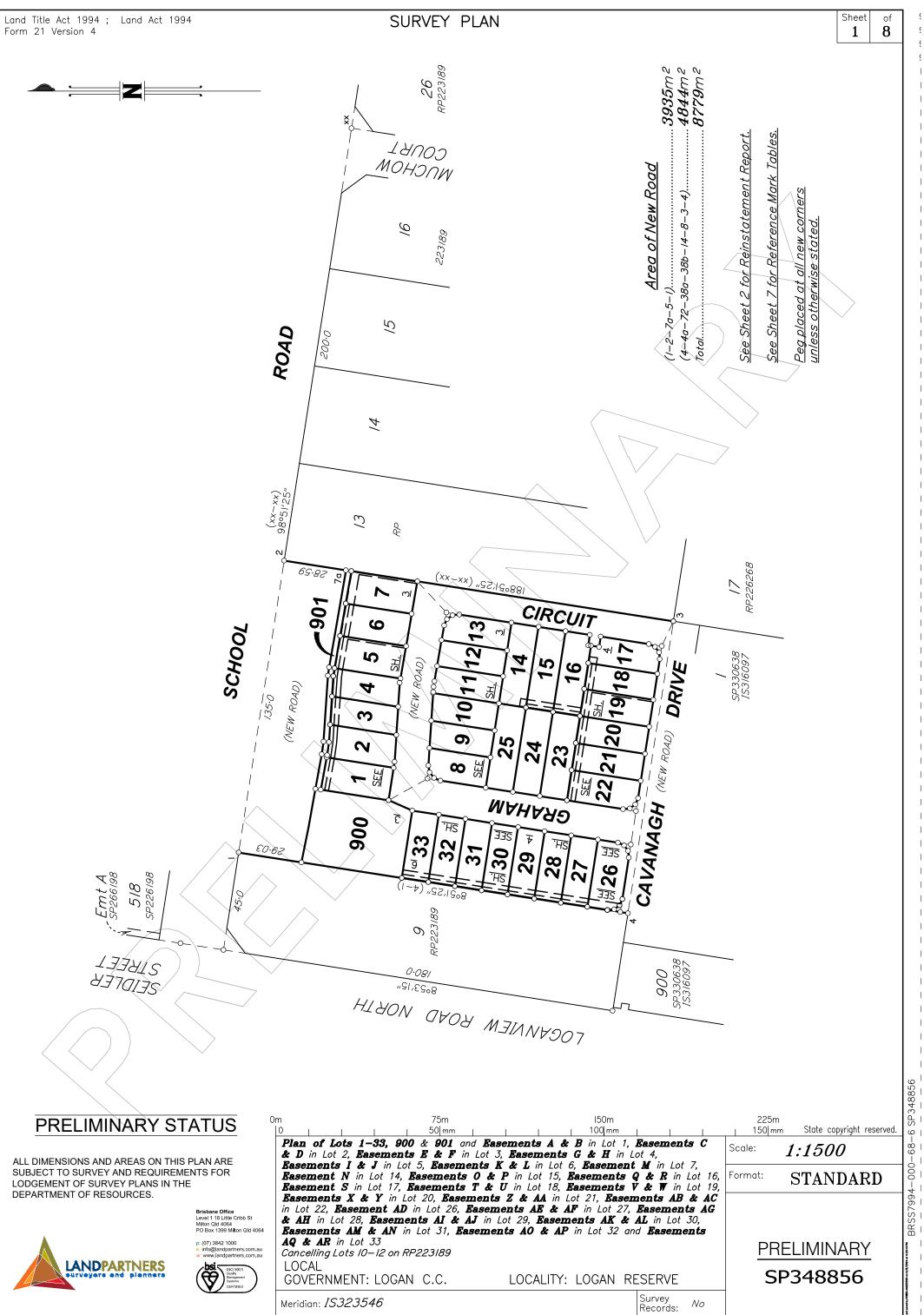
STONE RIDGE MASTER PLAN

Your future home awaits! Stone Ridge is a boutique community consisting of 33 pristine residential lots on School Road, Logan Reserve. With blocks ranging from 365m² to 456m², and all with minimum frontage of 12.0m, Stone Ridge provides a range of blocks and homes to suit every buyer and budget.

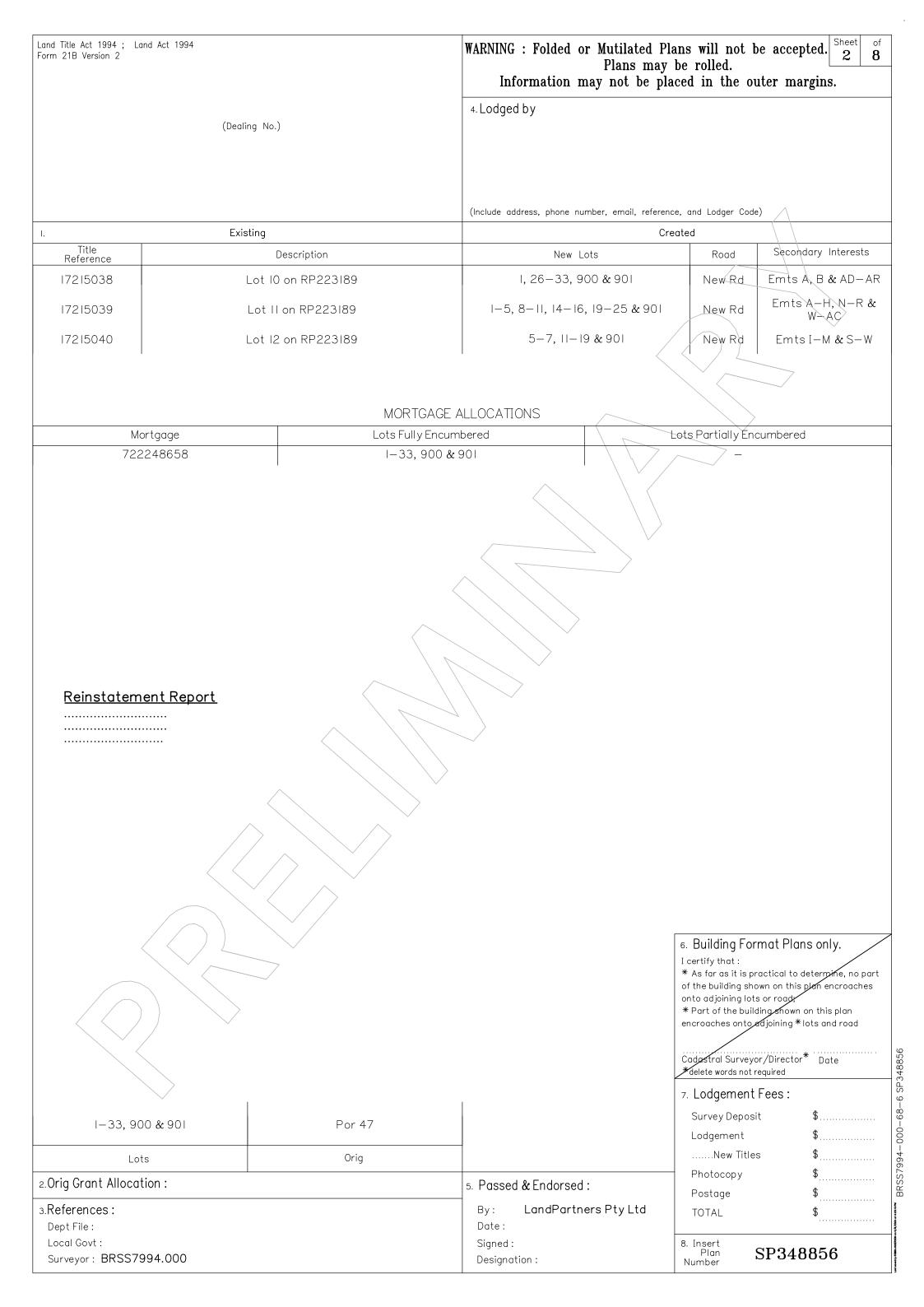




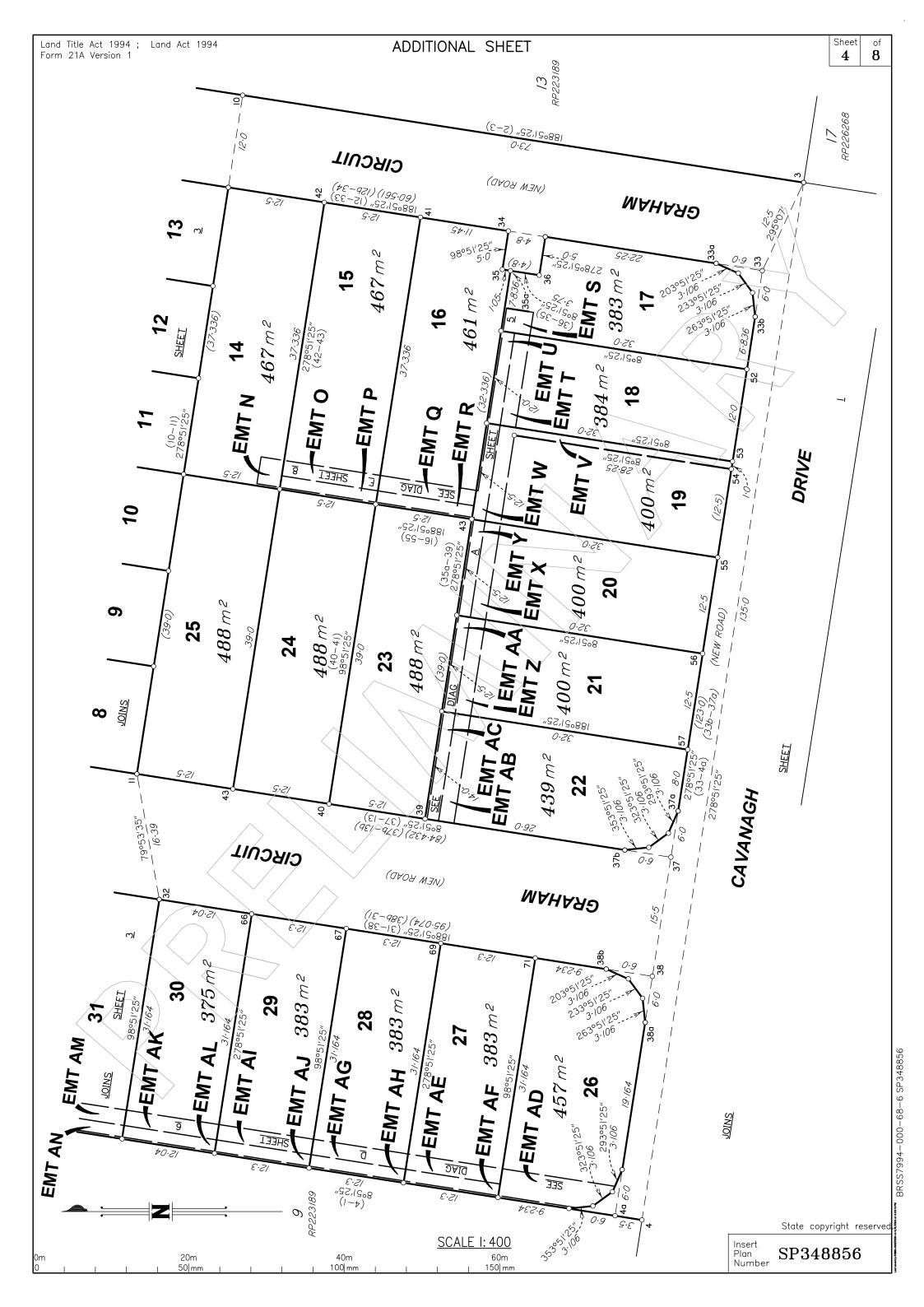
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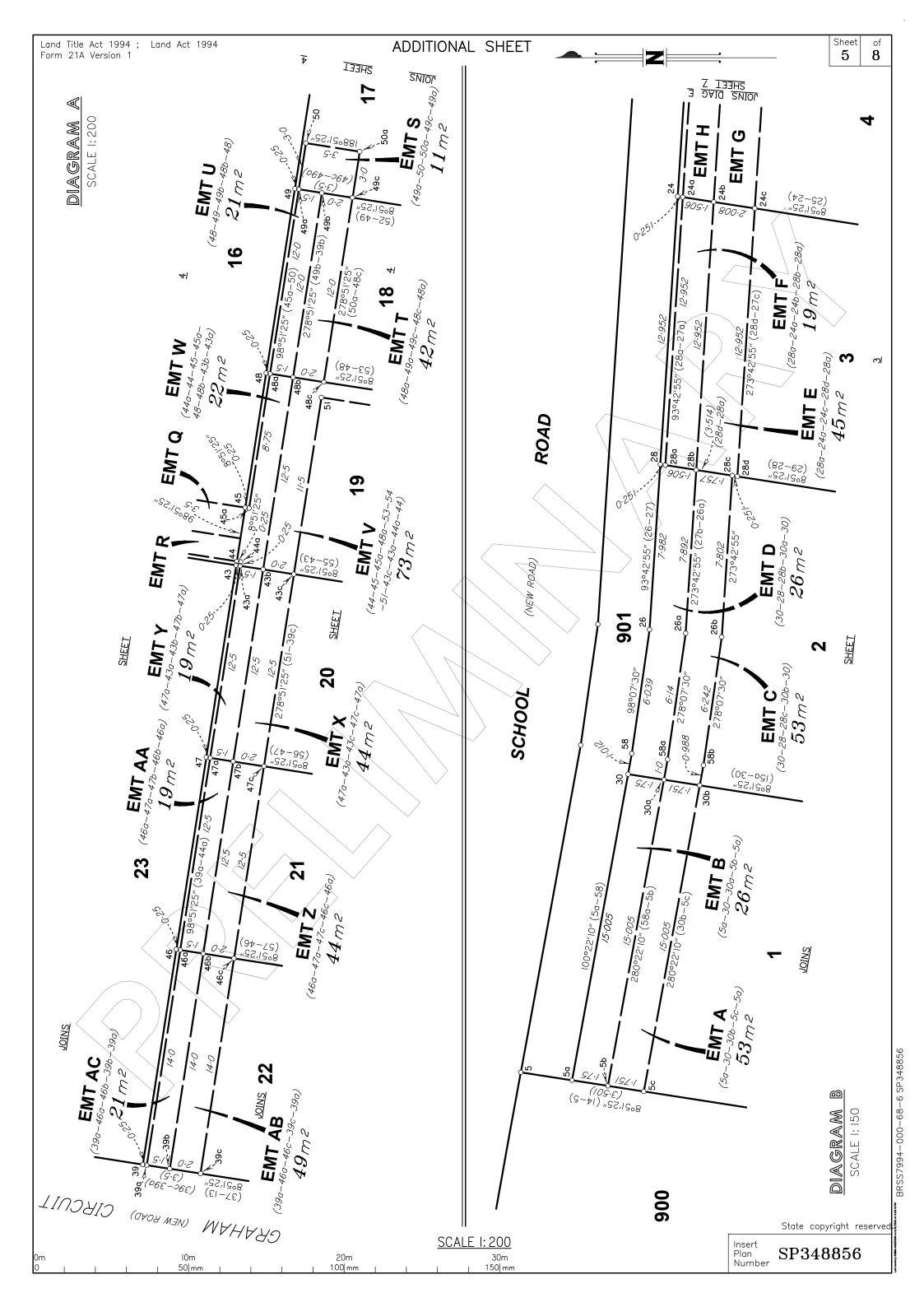
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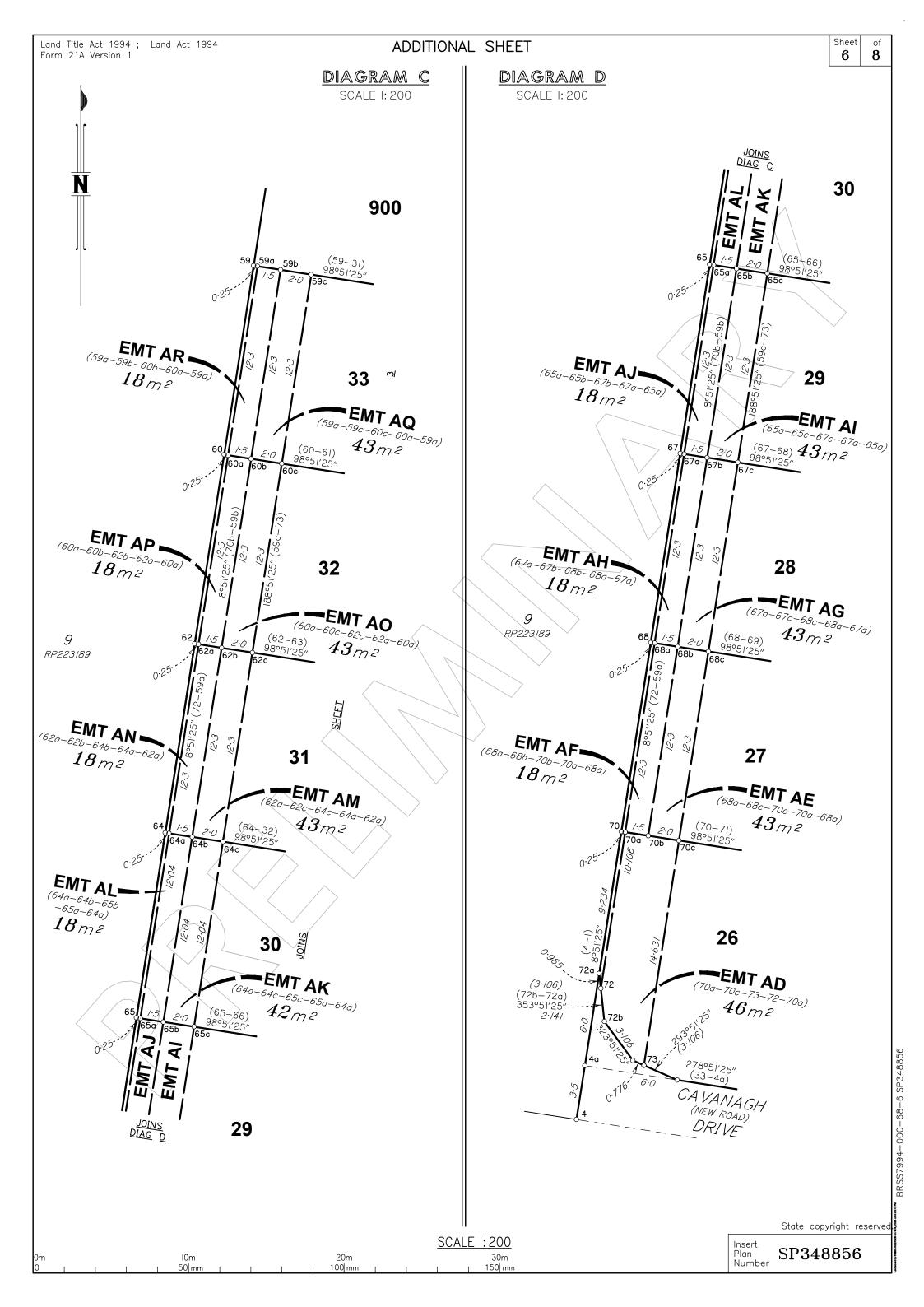
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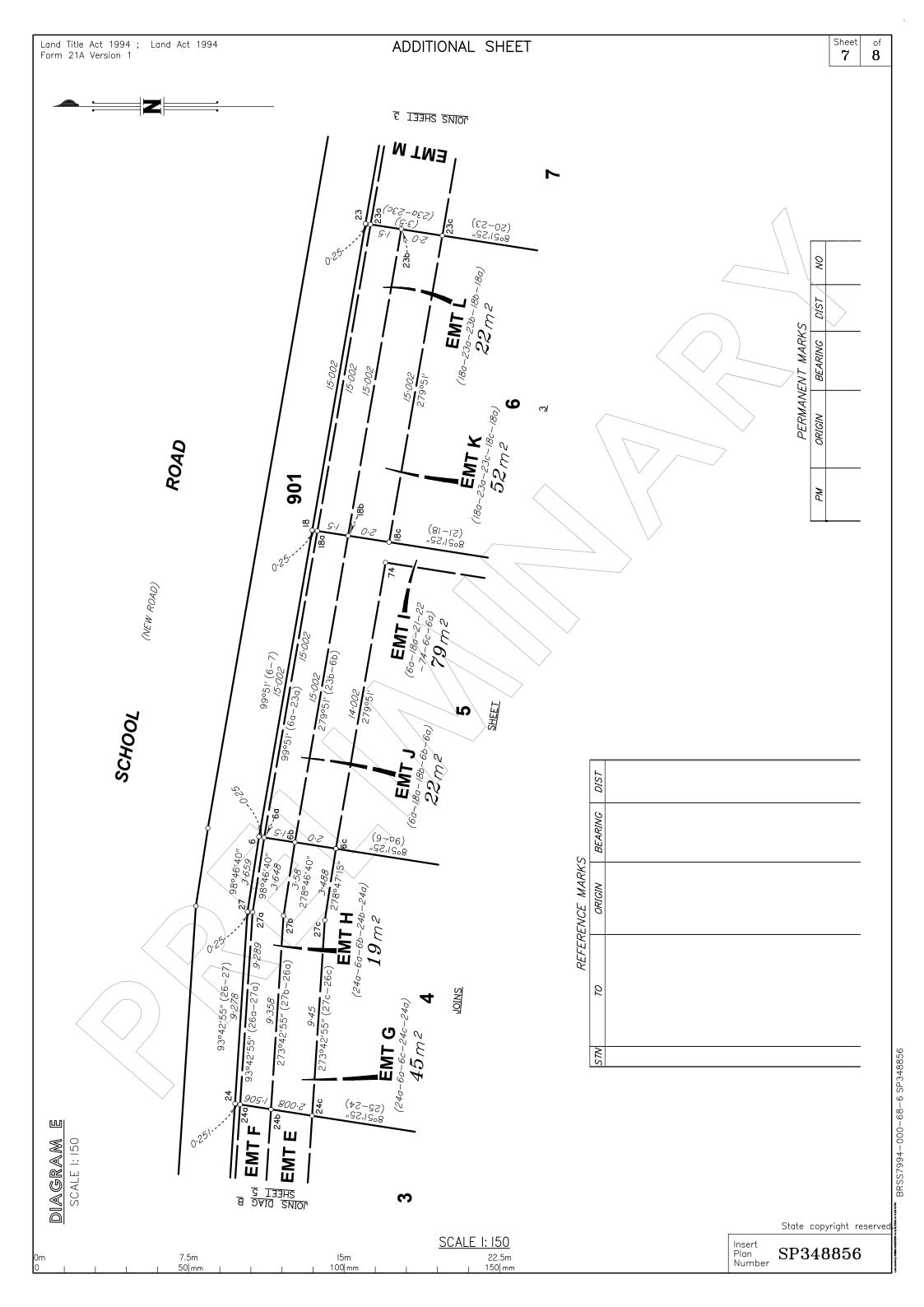


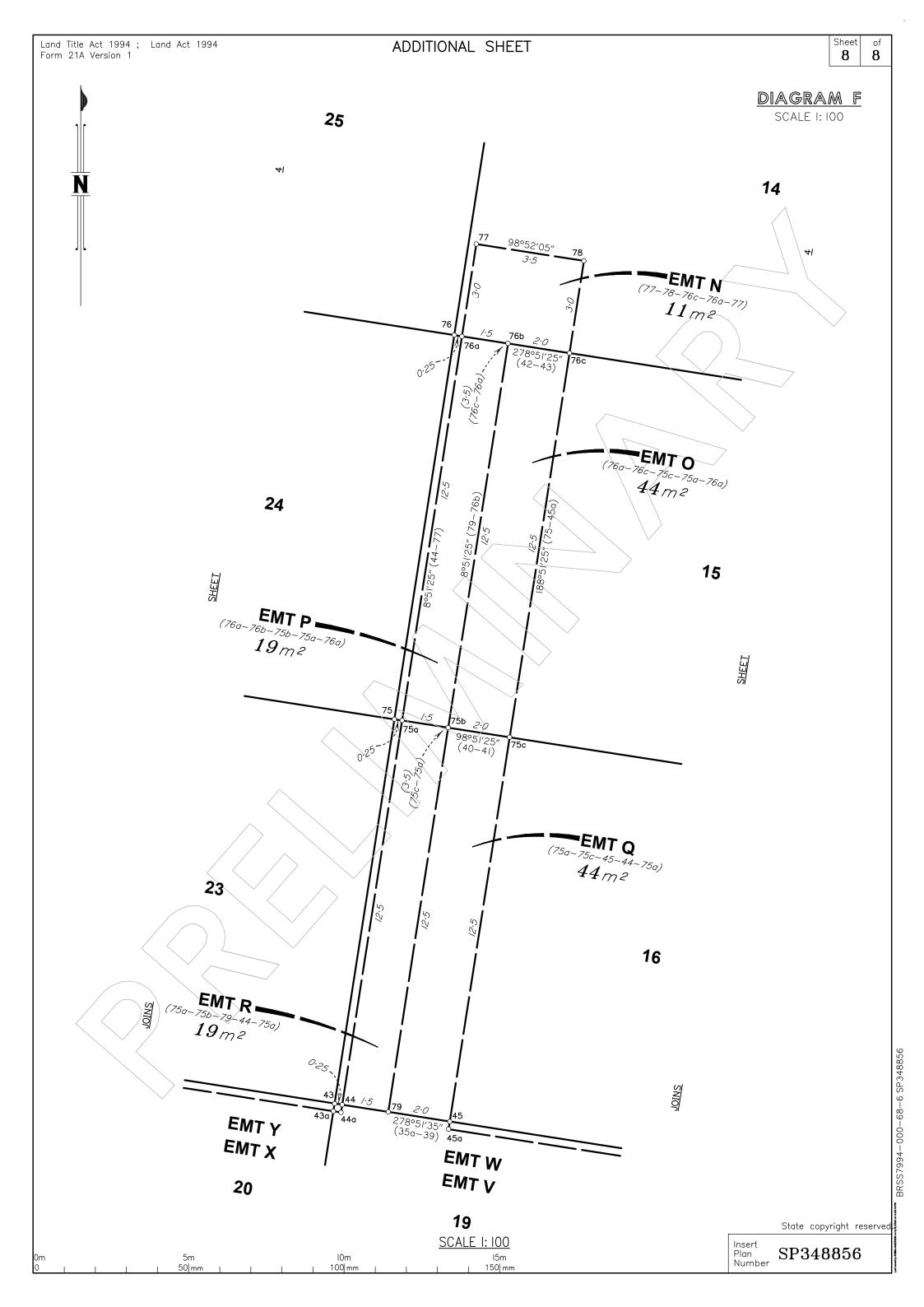


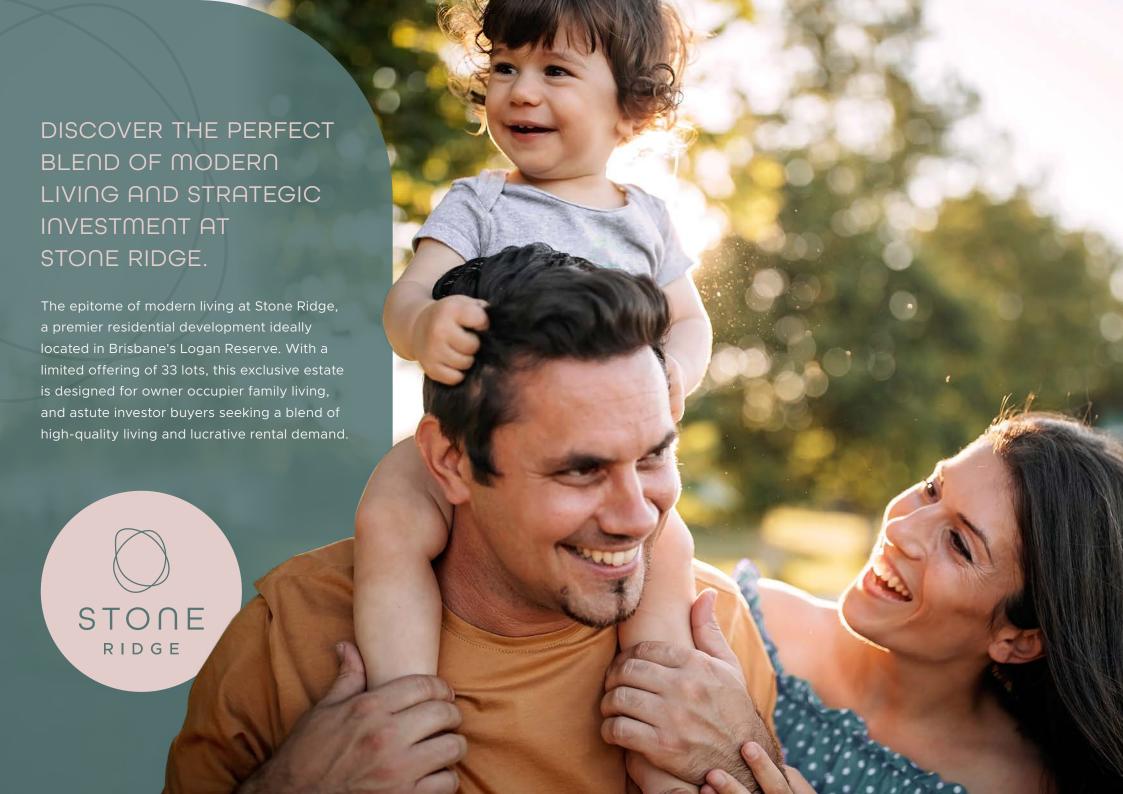














TOP EDUCATION FOR GROWING FAMILIES

Experience the perfect blend of education and healthcare at Stone Ridge.

Education & Healthcare

Surrounded by top-tier schools, this family-friendly neighbourhood ensures a nurturing environment for children, making it an ideal choice for families.

- Logan Reserve State School (1 min)
- St Francis College (7 mins)
- St Philomena School (5 mins)
- Burrowes State School (10 mins)
- Marsden State High School (6 mins)

Set to open in January 2025 is a new primary school located at 450 Park Ridge Road. With a budget of \$80.3 million, the school is now under construction and will feature state of the art facilities.

The neighbourhood is ideal for growing families, boasting two childcare facilities nearby – Edge Early Learning Crestmead and Crestmead Early Education Centre.

All of life's essentials are on the estate's doorstep, with seven medical facilities located within just a 10-minute drive, including Crestmead Medical Centre. Logan Hospital is only 15 minutes away providing residents with easy access to quality medical services. The hospital is currently undergoing a \$460 million expansion to increase its capacity in line with the Logan region's rapid population growth.



PARKS AND RECREATION, RIGHT IN YOUR BACKYARD

Surrounded by nearby parks and recreational spaces, Stone Ridge is ideal for families of all ages and lifestyles.

Parks & Recreation

With this new estate so close in proximity to the popular Crestmead Park, enjoying all that this vast play space has to offer will be easy with the following amenities within walking distance from your front door.

- Walking tracks
- Children's playground
- Basketball court
- Skate park
- Dog park
- Community garden
- Crestmead PCYC



A HUB FOR TRANSPORT AND EMPLOYMENT

The City of Logan is fast growing into a powerhouse region, backed by significant investment by the Queensland Government across infrastructure, health and education.

Transport & Employment

Stone Ridge offers a rare opportunity to invest in one of the regions strongest growth corridors as property values here continue to rise.

The estate is strategically positioned nearby both the Crestmead Industrial Park as well as the Crestmead Logistics Estate which is now under construction and will deliver up to 6,000 new jobs for residents of the region upon completion. This new industrial estate will be one of the largest in Queensland, offering 650,000sqm of warehousing, business, logistics and manufacturing space.

Shops, schools and major shopping centres are easy to access via the nearby M1 and M3.

Residents can also look forward to the PRC, a future transport link that will further connect development in the wider Park Ridge area to nearby centres like Browns Plains and Logan Central, allowing faster access to the Logan and Gateway Motorways.



VIBRANT SHOPPING AND ENTERTAINMENT, CLOSE TO HOME

Convenience and retail therapy abound with a host of retail precincts nearby.

Entertainment & Shopping

Residents will be well catered for with the Crestmead Shopping Centre, Kensington Fair, Logan Central Plaza, Marsden on Fifth and Home Co. Marsden just a short distance away.

The nearby Logan Hyperdome Shopping Centre boasts over 220 retailers and is Logan's ultimate shopping, restaurant, dining, and family fun experience. With a cinema and regular family events, it's the perfect weekend fun for the entire family! The all-new Logan Reserve Neighbourhood Shopping Centre is currently under construction and set to open early 2024. The 4000sqm shopping centre will feature a Woolworths supermarket and 15 specialty stores, including an alfresco dining precinct. The development is expected to create significant employment opportunities including 140 retail jobs on completion.



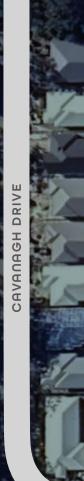


STONE RIDGE MASTER PLAN

Your future home awaits! Stone Ridge is a boutique community consisting of 33 pristine residential lots on School Road, Logan Reserve. With blocks ranging from 365m² to 456m², and all with minimum frontage of 12.0m, Stone Ridge provides a range of blocks and homes to suit every buyer and budget.















Patio 3.2m x 5.0m Living 3.5m x 4.2m Kitchen Master Bedroom 3.4m x 3.5m Dining WIR Family Ens Linen Bedroom Bedroom 3.0m x 3.0m 3.0m x 2.9m Store L'dry Linen Bath'r Garage . WC 5.9m x 5.6m Entry Bedroom 3.0m x 3.1m Porch

October 2024

APPRAISAL OF RENTAL VALUE

"STONE RIDGE"

Logan Reserve Qld 4133

Key design features -

- 4 Bedrooms
- Main Bathroom + Ensuite
- Double Lock Up Remote Garage
- Brand New Home

- Tiled Air-conditioned Living + Dining
- Separate Carpeted Living Area
- Covered Outdoor Entertaining Area
- Landscaped, Fully Fenced Yard

Our team would be delighted to manage your investment and work to ensure your property is achieving the best possible rental price and maximizing your return on investment. We believe that you could expect to achieve \$760.00-\$780.00 per week.

ACN 061 632 862 LIC. No. 71541 P.O. BOX 396 PARADISE POINT, QLD 4216 PHONE: 07-5501 3300 WEBSITE: FAX No: 07-5501 3399 www.choicehomes.com.au

| ISS | DATE | DESCRIPTION |
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| Α | 13.09.24 | SITING |
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| | ROOF TY | PE: COLORBOND ROOF |
| Estimation | | |
| Estimation Details: | | |
| | | STANDARD TEMPLATE |

SITING

SITING\RVT\9 GRAHAM (A) BANGALOW BF (1) RHS NCC 22 2024.rvt

| DWG Name |
|-------------|
| Perspective |
| DWG No: |
| 000 |
| ISSUE A |
| |

1. EARTHWORKS

a) Cut and fill indicated on plan may vary at construction stage and builder is to verify and adjust as required. b) Any variation at construction stage

is to comply with Council policy on earthworks/drainage for residential sites.

c) Site works indicated on this plan are for construction purposes only.

2. RETAINING WALLS & FENCES

a) All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites. b) Position of retaining wall may vary and must be verified by builder prior to commencement.

c) Any variation at construction stage to comply with Council

d) Retaining walls may not align with property boundary's. Fences are located on retaining walls.

3. CONTOURS AND LEVELS

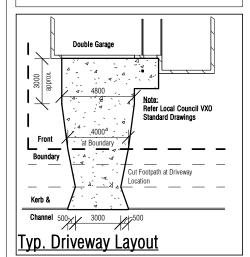
a) Contours and levels shown on plan are taken from levels supplied by contour surveyor and no responsibility is taken for accuracy or cut and fill levels.

RETAINING WALL, DRIVEWAY, LANDSCAPE QUANTITIES & DIMENSIONS, MAY VARY ON SITE TO SUIT AS-CONSTRUCTED SITE DETAILS AND CONTOURS.

4. STORMWATER

a) Drainage is calculated for this proposed devlopment only and may not be adequate for any subsequent roofed or paved areas. b) Minimum 100x75 or 100Ø downpipes at a rate of 1 per 40m² of roof area, discharging into 1000 stormwater pipework connecting yard gullies.

c) Minimum grade of 1% to kerb adapter or rubble pit if applicable.



| EXTERNAL CONCRETE | | |
|-------------------|----------------------|--|
| Туре | Area | |
| Patio | 16.10 m ² | |
| AC ODU | 0.98 m ² | |
| Porch & Path | 3.23 m ² | |
| Clothesline | 6.99 m ² | |
| Driveway | 43.56 m ² | |
| Grand total: 5 | 70.85 m ² | |

| RETAINING WALLS | | |
|---------------------------|---------|----------------------|
| Type | Length | Area |
| Retaining Wall - Timber | 40.52 m | 16.21 m ² |
| Sleeper on Fence - Timber | 28.76 m | 5.74 m ² |

FENCE: PALING FENCE

NO ACOUSTIC REQUIREMENTS

NO BUSHFIRE REQUIREMENTS

- ENERGY EFFICIENCY REQ'S NCC 2022
 R2.5 INSULATION INSTALLED TO ENTIRE CEILING INCLUDING PATIO.
- SARKING INSTALLED TO ALL WALLS
 1.5 INSULATION BATTS TO ALL EXTERNAL WALLS WITH CLADDING
- CEILING FAN TO PATIO
- HEAT PUMP TO HOT WATER UNIT

200H TIMBER SLEEPER

EXISTING DEVELOPER

RETAINING WALL

PROPOSED 1800h TIMBER FENCE -

0

- 2.7S -

METER BOX

GATE -

ON FENCE TBC

• REFER TO ENERGY EFFICIENCY REPORT FOR ANY ADDITIONAL REQUIREMENTS

EMERGENCY ACTION PLAN



400H TIMBER RETAINING WALL TBC -

App. Platform RL = 27.50 TBC

EXPOSED AGG. DRIVEWAY 4

578,5125

1800h TIMBER FENCE

ASSEMBLY AREA



FOLLOW ARROWS

GP



- PROPOSED 1800h TIMBER FENCE

400H TIMBER

RETAINING WALL TBC

ACN 061 632 862 LIC. No. 71541 P.O. BOX 396 PARADISE POINT, QLD 4216 PHONE: 07-5501 3300 WEBSITE: FAX No: 07-5501 3399

Use figured dimensions at all times. Refer enquiries to **CHOICE HOMES (QLD) PTY LTD**. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations &

The design, in part or whole, is subject to Choice Homes (QLD) Ptv Ltd

| SITE COVERAGE | 53% |
|---------------------|-------------------|
| LOT AREA | 357m ² |
| BUILDING SITE COVER | 189m² |

STANDARD TEMPLATE

ROOF TYPE: COLORBOND ROOF

| 11001 111 | L. OOLONDOND HOOF |
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SITING

SITE DETAILS: LOT 9 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD

A 13.09.24 SITING ISS DATE DESCRIPTION

PROPERTY DETAILS

S.P NUMBER

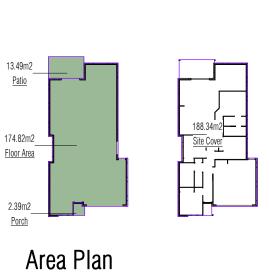
BANGALOW BF (1) RHS

HOUSE TYPE: SINGLE STOREY

CHOICE HOMES

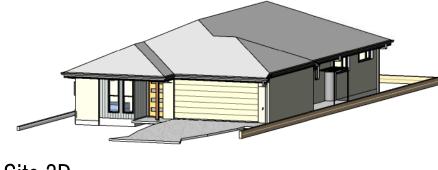
CLIENTS SIGNATURE:

| DATE: 13.09. | 24 DWG Name | ; |
|---------------|-------------|-----------|
| SCALE: As ind | cated | Site Plan |
| DRAWN: TE | B DWG No: | |
| CHECKED: T | 3 | 101 |
| JOB No: | ISSUE | Α |



1:500

Patio



Site 3D

RETAINING TIMBER SLEEPERS UNO WALLS:

LANDSCAPE: STANDARD LANDSCAPE

FACADE: STANDARD FACADE

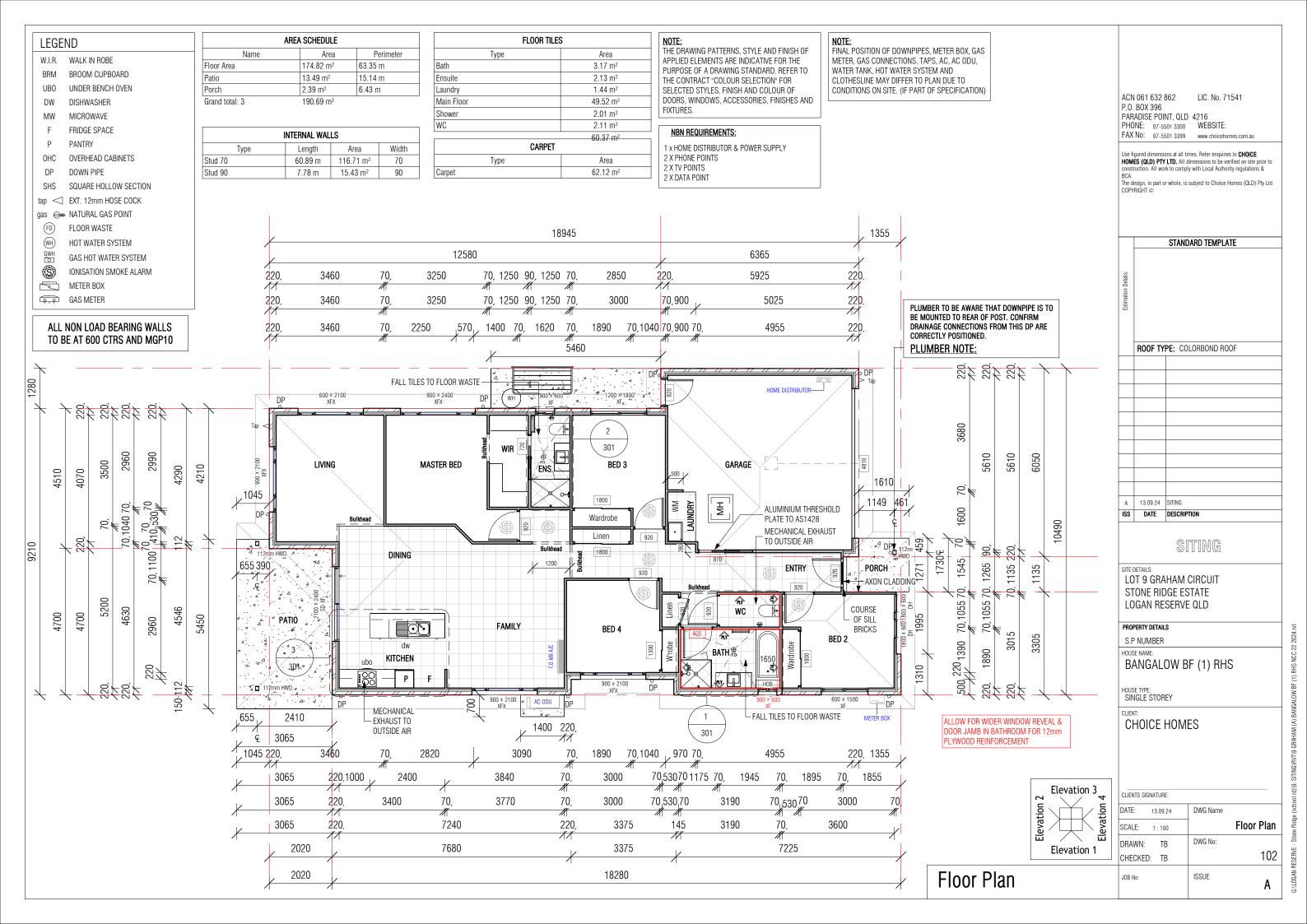
FIRE WALL: HARDIESMART FIRE WALL SYSTEM

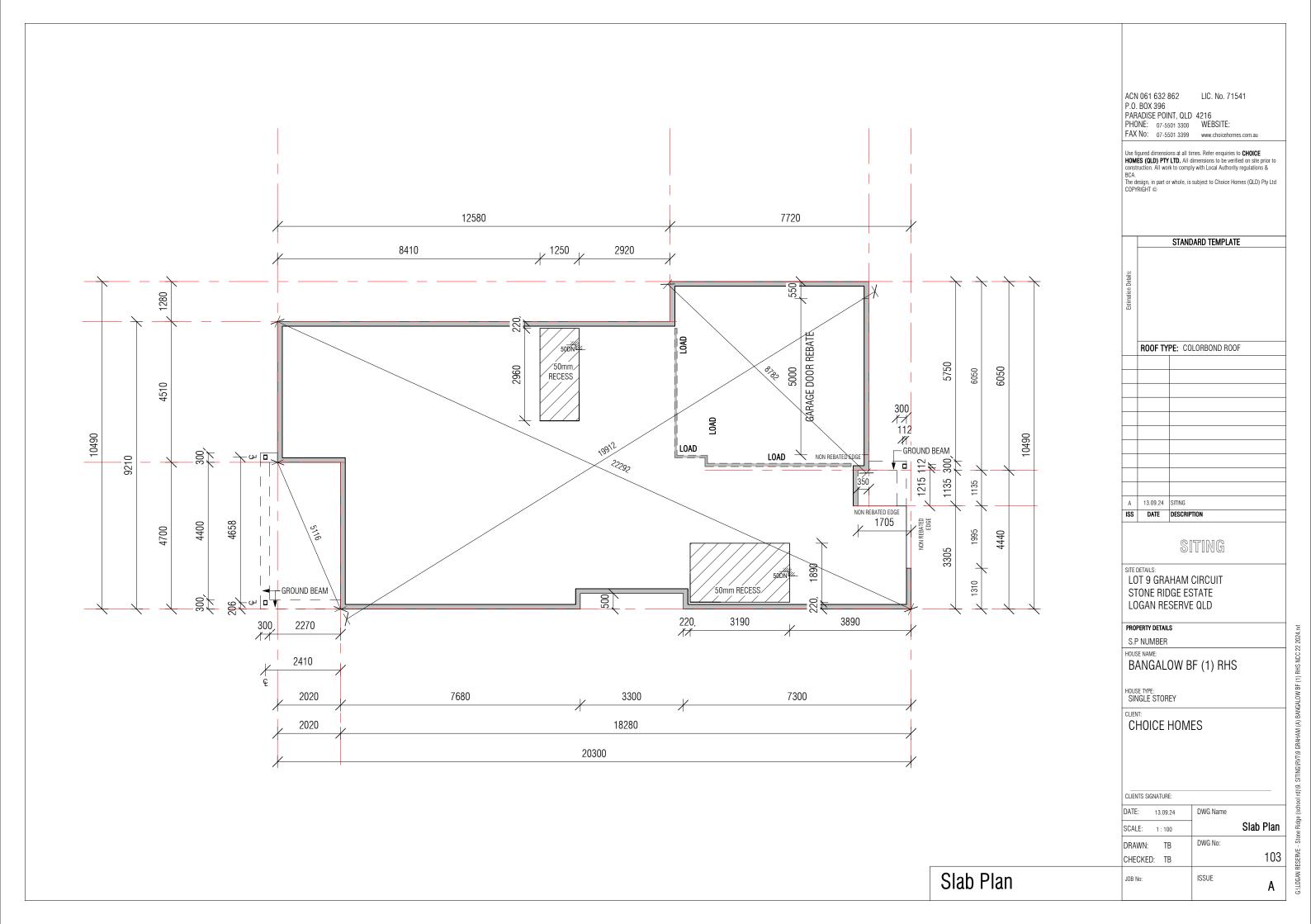
01 Site Plan

1:200

Site Plan

TIUORIO MAHARO





Elevation 1 1:100

25.00° ▼ Plate Height ▼ Head Height 2100 ▼ 02 Floor Plan Platform-

Elevation 2

- AXON CLADDING

1:100

- REFER TO TITLE BLOCK FOR ROOF TYPE. TRUSSES @ 600CTS.
 REFER TO ELEVATIONS AND ROOF PLAN FOR ROOF PITCH.
- BATTENS FOR TILED ROOF AT 330 CTS OR TO SUIT TILE SELECTION.
- BATTENS FOR COLORBOND ROOF AT 900CTS.
- ALL FIXINGS AND INSTALLATION IN ACCORDANCE WITH MAUFACTURERS
- **NOTE:** BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS

CLADDING & FINISHES

- FACE BRICK EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE
- PAINTED FC ABOVE WINDOW & DOOR HEADS UNO.
- THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.

LIC. No. 71541 ACN 061 632 862 P.O. BOX 396

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CONSTRUCTION. All work to secure ... BCA.

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STANDARD TEMPLATE

| SS | DATE | DESCRIPTION |
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| | ROOF TY | PE: COLORBOND ROOF |
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SITING

LOT 9 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD

PROPERTY DETAILS

S.P NUMBER

BANGALOW BF (1) RHS

HOUSE TYPE: SINGLE STOREY

CHOICE HOMES

CLIENTS SIGNATURE:

| DATE: 13.09.24 | DWG Name | |
|----------------|-----------|---|
| SCALE: 1:100 | Elevation | S |
| DRAWN: TB | DWG No: | |
| CHECKED: TB | 20 | 1 |
| JOB No: | ISSUE A | |

Elevations

NOTE: BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS

CLADDING & FINISHES

SPECIFICATIONS.

- FACE BRICK EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE
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Elevations

ACN 061 632 862 LIC. No. 71541 P.O. BOX 396 PARADISE POINT, QLD 4216 PHONE: 07-5501 3300 WEBSITE:

FAX No: 07-5501 3399 www.choicehomes.com.au

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STANDARD TEMPLATE

ROOF TYPE: COLORBOND ROOF A 13.09.24 SITING ISS DATE DESCRIPTION

SITING

SITE DETAILS: LOT 9 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD

PROPERTY DETAILS S.P NUMBER

BANGALOW BF (1) RHS

HOUSE TYPE: SINGLE STOREY

CHOICE HOMES

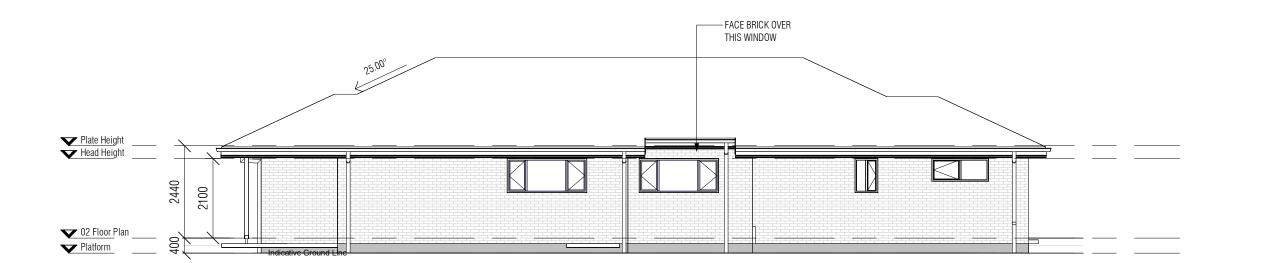
CLIENTS SIGNATURE:

| ATE: 13.09.24 | DWG Name |
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| CALE: 1:100 | Elevations |
| RAWN: TB | DWG No: |
| HECKED: TB | 202 |
| OB No: | ISSUE A |

RVT\9 GRAHAM (A) BANGALOW BF (1) RHS NCC 22 2024.rvt



Elevation 3 1:100



Elevation 4

1:100



A composed grey and white scheme which is both fresh and polished.

| Brick: | Raked | |
|------------------------------|----------------------------|--|
| Rendered House | | |
| Feature Brick: | Austral Grecian Gold | |
| Joints: | Raked | |
| Mortar: | . Natural | |
| External Walls Render | | |
| Colour: | Wattyl London Fog 49.50 | |
| Feature Render or Cladding | | |
| Colour: | . Wattyl Cotton Grey 18.20 | |
| Roof | | |
| Roof Tile Colour: | Wild Rice | |
| Tile Profile: | Elabana | |
| Colourbond@ Roof: | Standard profile | |
| Colourbond© Colour: | Colorbond Dune | |
| Colour bondo Fascia & Gutter | | |
| Fascia Colour: | Colorbond Surfmist | |
| Gutter Colour: | Colorbond Dune | |
| | | |

Brick House

| Window / Flyscreen Frames Colour: Pearl White | | |
|--|--|--|
| Garage Door | | |
| | | |
| External Paint / Finishes | | |
| Metre Box: | . Colorbond Dune . Colorbond Dune . Colorbond Surfmist | |
| Front Door Style: | . Wattyl White Obscure . Stainless Steel Deadlock & Entry Set Wattyl White | |
| External Light Colour: Letterbox Colour: Letterbox Style: Clothesline Colour: | . Colorbond Dune . Milk Can | |

Kitchen Benchtop: Caesarstone Osprey Edging: 20mm Arris

Cupboard Fronts:

Cupboard Colour: Polytec Classic White Sheen

Handle Style / Position:..... Choice Standard

Appliances

Cooktop: Ceramic
Oven / Rangehood: Stainless steel

Kitchen Sink: Stainless steel with Flick Mixer

Hot Water System: 250lt Energy Efficient

Laundry Tub: White Metal with Stainless Steel Tub

Tiles

Note: Splashback tiles laid 300 side horizontal brick bond.



Bathroom / ensuite

Vanity Benchtop: Caesarstone Osprey
Cupboard Fronts: Polytec Classic White Sheen

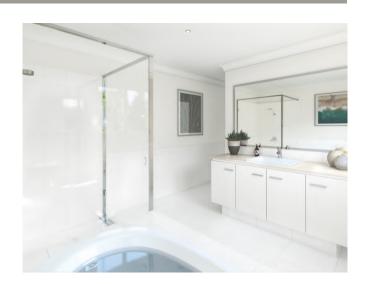
Handle Style / Position:...... Choice Standard Tap Handles: Chrome

Shower Soap Holder: Chrome on Shower Rail

Bathroom Tiles

Note: Bath/Ensuite wall tiles laid 400 side horizontal stack bond.

Bathroom/Ensuite Walls: 1220964 Unit White Satin 250 \times 400 WC Skirting: 1256616 Omniform White 450 \times 450



Internal Paint / Finishes

Ceiling Cornice: Wattyl White

Wall Colour: Wattyl Cotton Grey 18.20

Wall Paint Type:Ultra ASU (1) ID ADV Low Sheen (2)

Skirting / Architraves: Wattyl Cotton Grey 18.20

Internal Door Style: Redicoat

Internal Door Colour: Wattyl Cotton Grey 18.20

Interior Door Furniture: Chrome

Other Interior Paint / Finishes

