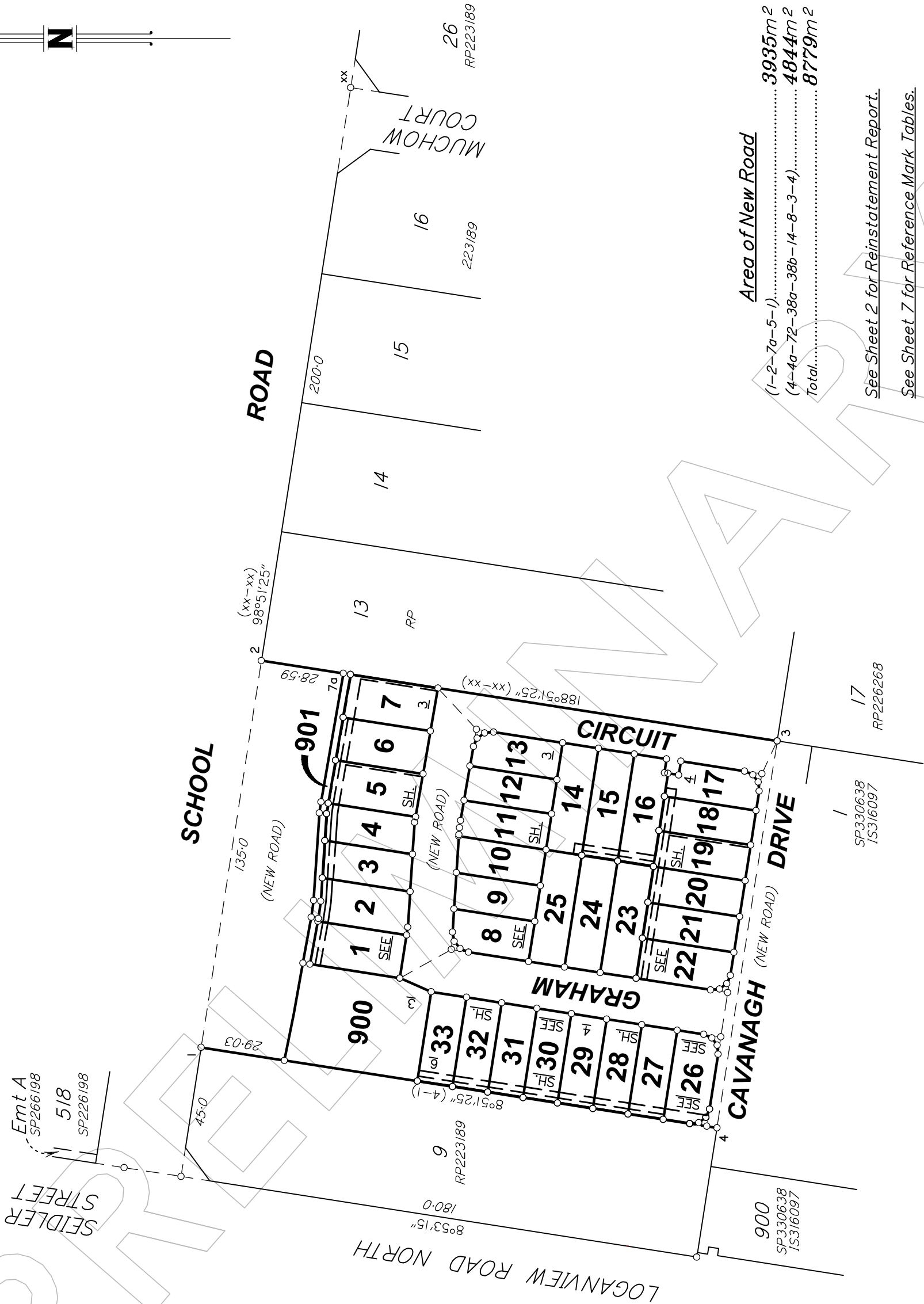


STONE RIDGE MASTER PLAN

Your future home awaits! Stone Ridge is a boutique community consisting of 33 pristine residential lots on School Road, Logan Reserve. With blocks ranging from 365m² to 456m², and all with minimum frontage of 12.0m, Stone Ridge provides a range of blocks and homes to suit every buyer and budget.





Area of New Road

(1-2-7a-5-1).....	3935m ²
(4-4a-72-38a-38b-14-8-3-4).....	4844m ²
Total.....	8779m ²

See Sheet 2 for Reinstatement Report.
See Sheet 7 for Reference Mark Tables.
Peg placed at all new corners
unless otherwise stated.

PRELIMINARY STATUS

ALL DIMENSIONS AND AREAS ON THIS PLAN ARE
SUBJECT TO SURVEY AND REQUIREMENTS FOR
LODGEMENT OF SURVEY PLANS IN THE
DEPARTMENT OF RESOURCES.



Brisbane Office
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0m 75m 150m 225m 0 50mm 100mm 150mm		State copyright reserved.	
Plan of Lots 1-33, 900 & 901 and Easements A & B in Lot 1, Easements C & D in Lot 2, Easements E & F in Lot 3, Easements G & H in Lot 4, Easements I & J in Lot 5, Easements K & L in Lot 6, Easement M in Lot 7, Easement N in Lot 14, Easements O & P in Lot 15, Easements Q & R in Lot 16, Easement S in Lot 17, Easements T & U in Lot 18, Easements V & W in Lot 19, Easements X & Y in Lot 20, Easements Z & AA in Lot 21, Easements AB & AC in Lot 22, Easement AD in Lot 26, Easements AE & AF in Lot 27, Easements AG & AH in Lot 28, Easements AI & AJ in Lot 29, Easements AK & AL in Lot 30, Easements AM & AN in Lot 31, Easements AO & AP in Lot 32 and Easements AQ & AR in Lot 33 Cancelling Lots 10-12 on RP223189		Scale: 1:1500	PRELIMINARY SP348856
LOCAL GOVERNMENT: LOGAN C.C. LOCALITY: LOGAN RESERVE		Format: STANDARD	
Meridian: IS323546		Survey Records: No	

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
17215038	Lot 10 on RP223189	1, 26–33, 900 & 901	New Rd	Emts A, B & AD–AR
17215039	Lot 11 on RP223189	1–5, 8–11, 14–16, 19–25 & 901	New Rd	Emts A–H, N–R & W–AC
17215040	Lot 12 on RP223189	5–7, 11–19 & 901	New Rd	Emts I–M & S–W

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
722248658	1–33, 900 & 901	–

Reinstatement Report

.....
.....
.....

6. Building Format Plans only.

I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining *lots and road

.....
Cadastral Surveyor/Director* Date
*delete words not required

7. Lodgement Fees :

Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

8. Insert Plan Number
SP348856

5. Passed & Endorsed :

By : LandPartners Pty Ltd
Date :
Signed :
Designation :

2. Orig Grant Allocation :

3. References :

Dept File :
Local Govt :
Surveyor : BRSS7994.000

1–33, 900 & 901

Por 47

Lots

Orig

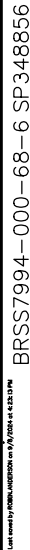
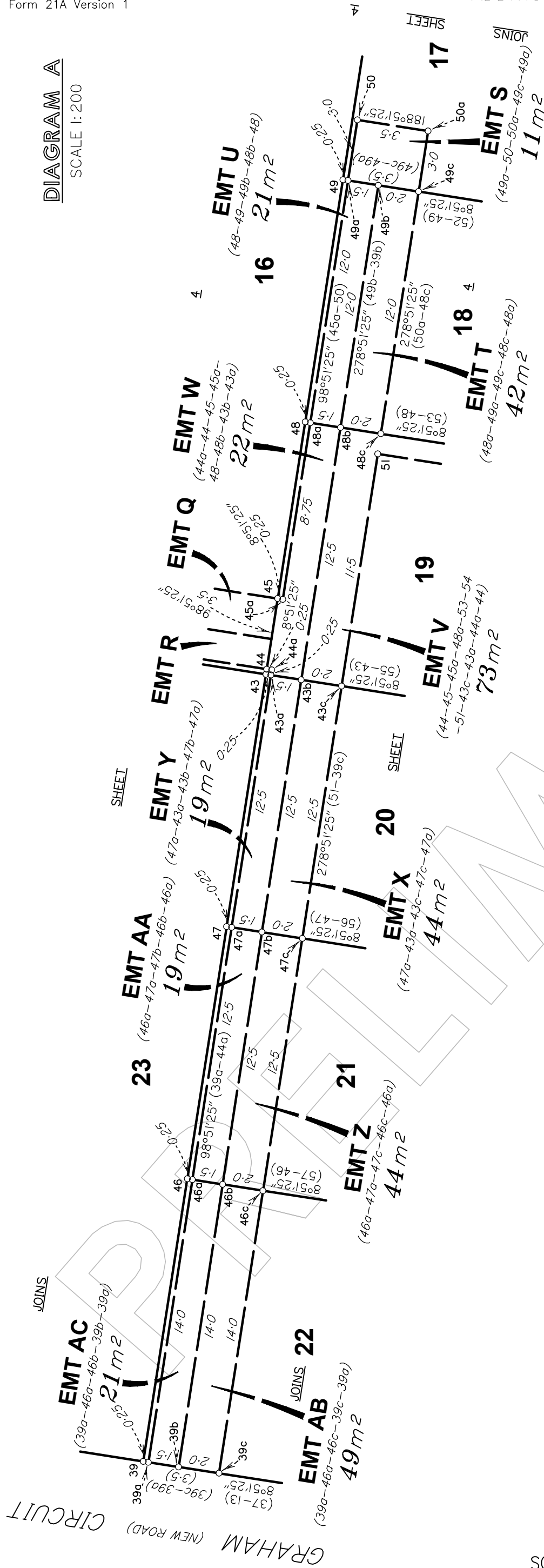




DIAGRAM A

SCALE 1:200



SCALE 1:200

ROAD

SCHOOL

(NEW ROAD)

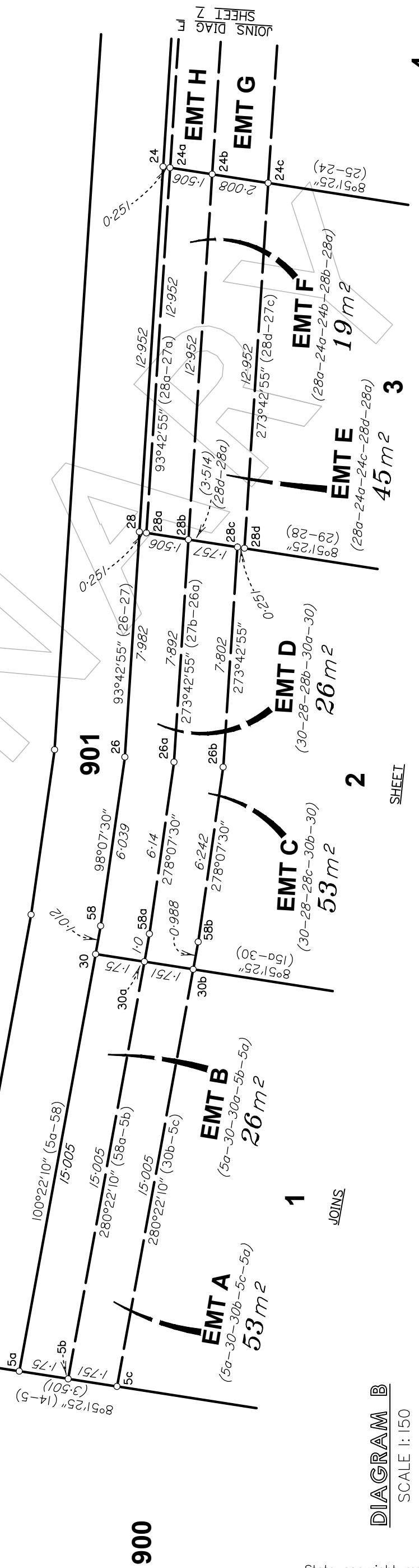


DIAGRAM B

SCALE 1:150

State copyright reserved

Insert
Plan
Number

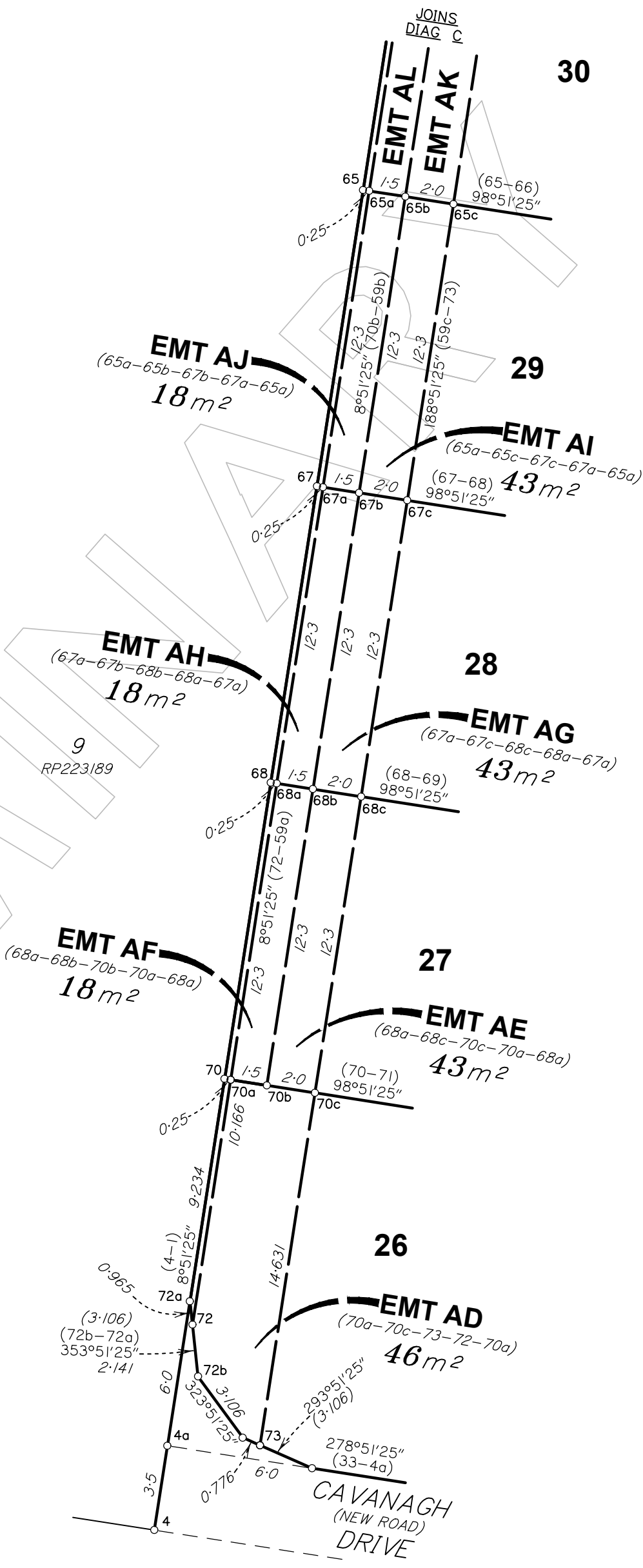
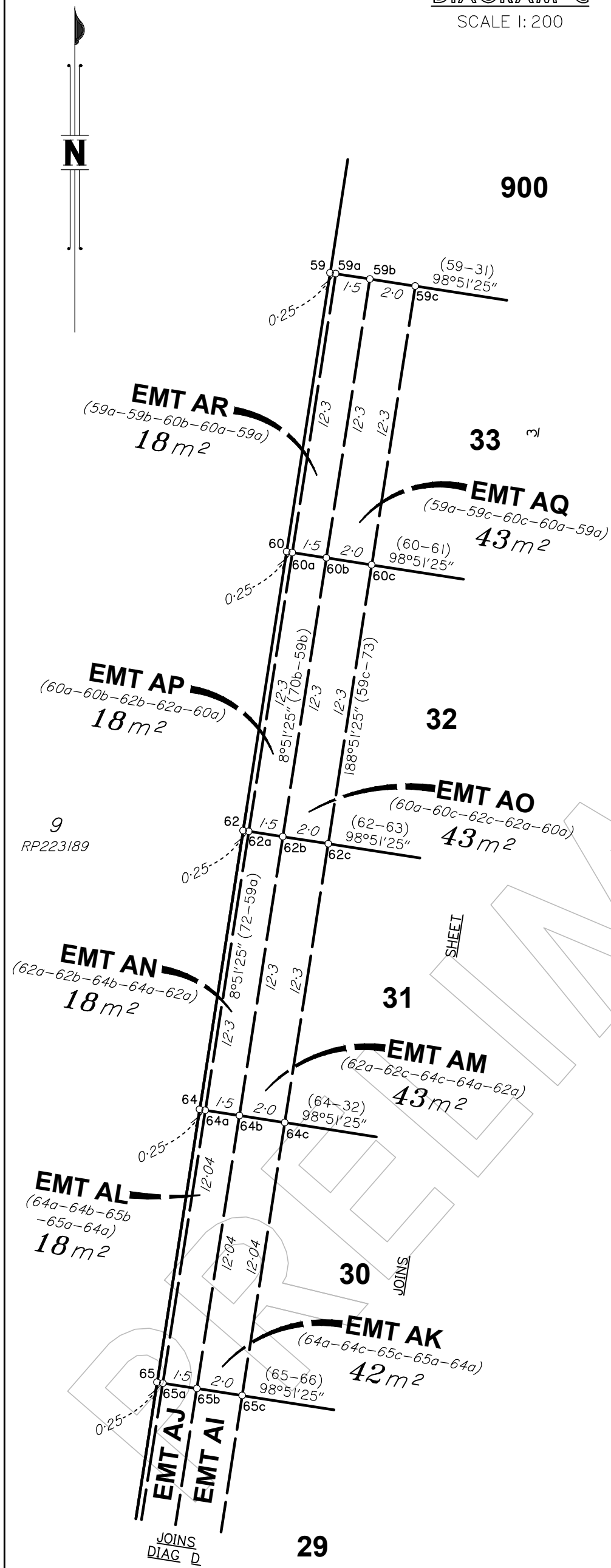
SP348856

DIAGRAM C

SCALE 1: 200

DIAGRAM D

SCALE 1: 200



SCALE 1: 200

State copyright reserved

Insert Plan Number
SP348856

0m 10m 20m 30m
50mm 100mm 150mm



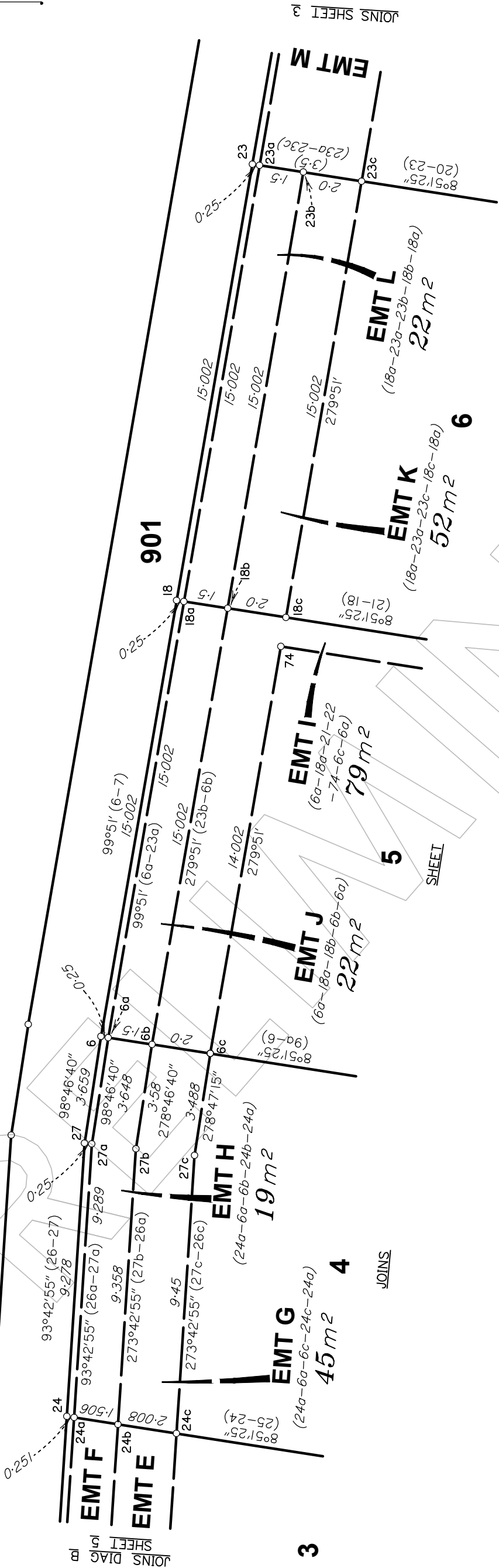
DIAGRAM E
SCALE 1: 150



SCHOOL

(NEW ROAD)

ROAD



SCALE 1: 150

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST

PERMANENT MARKS

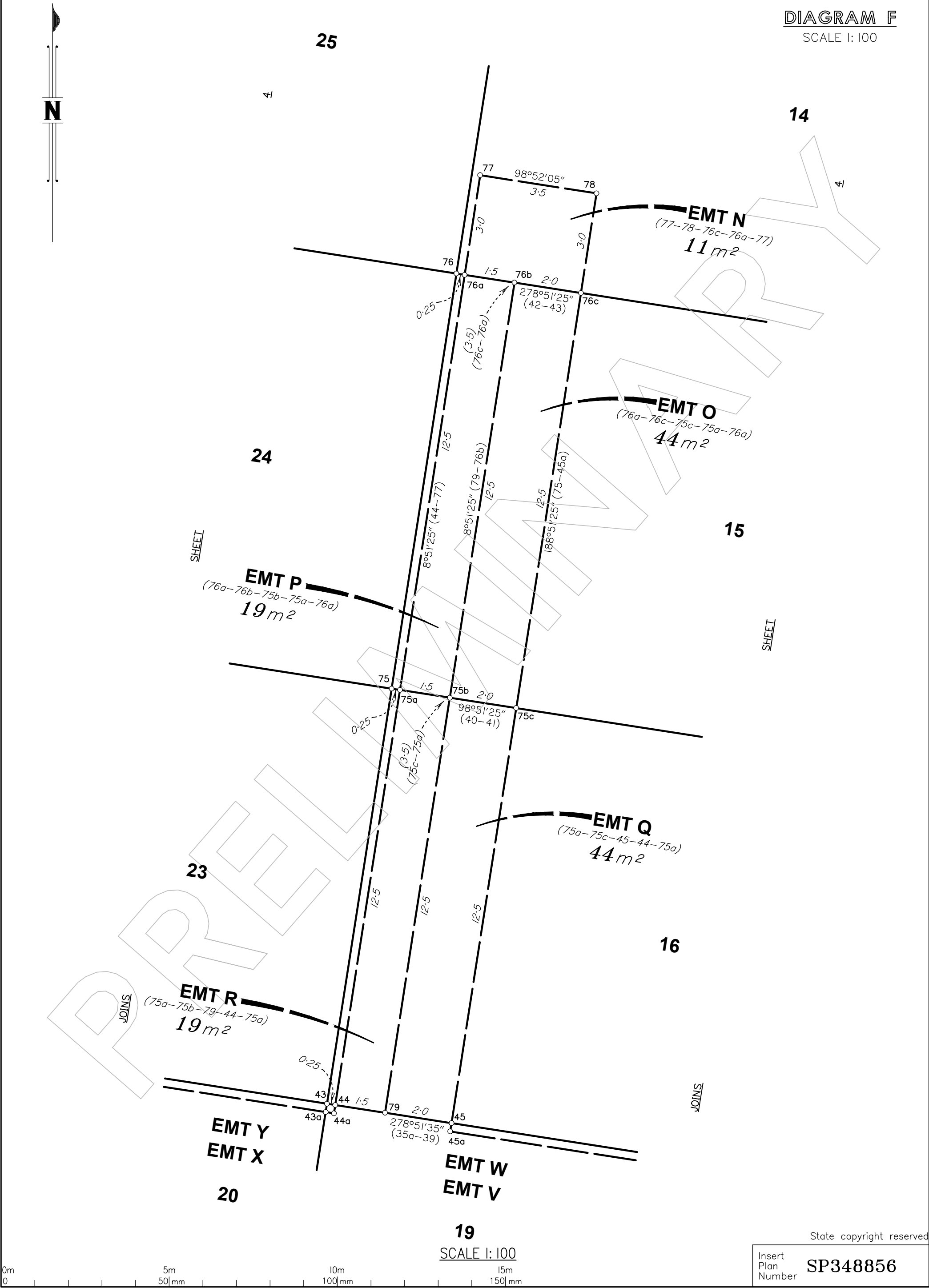
PM	ORIGIN	BEARING	DIST	NO

State copyright reserved

Insert
Plan
Number

SP348856

DIAGRAM F
SCALE 1:100



DISCOVER THE PERFECT
BLEND OF MODERN
LIVING AND STRATEGIC
INVESTMENT AT
STONE RIDGE.

The epitome of modern living at Stone Ridge, a premier residential development ideally located in Brisbane's Logan Reserve. With a limited offering of 33 lots, this exclusive estate is designed for owner occupier family living, and astute investor buyers seeking a blend of high-quality living and lucrative rental demand.

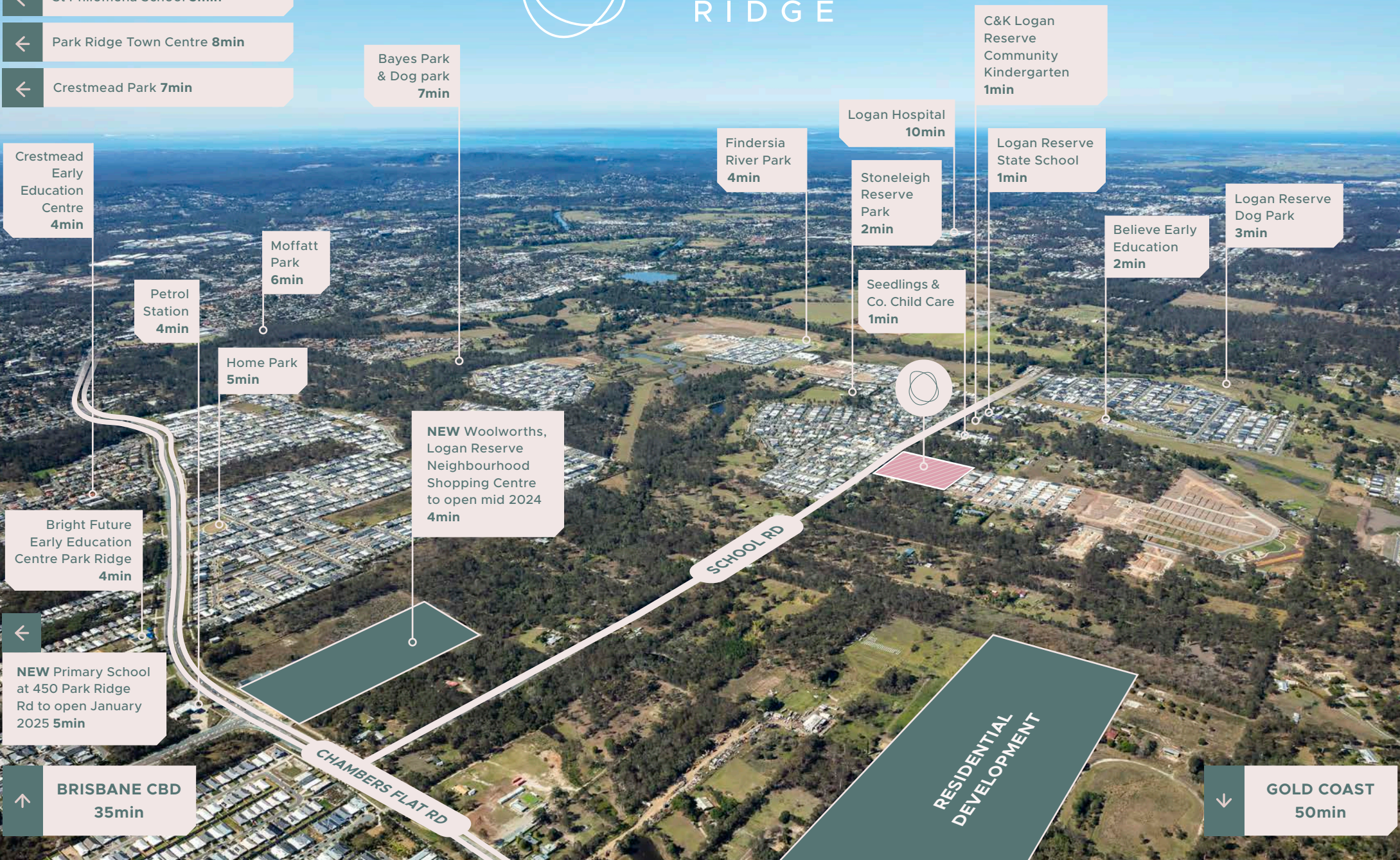


STONE
RIDGE



- ← Burrowes State School 10min
- ← St Francis College Crestmead 7min
- ← St Philomena School 5min
- ← Park Ridge Town Centre 8min
- ← Crestmead Park 7min

STONE RIDGE



TOP EDUCATION FOR GROWING FAMILIES

Experience the perfect blend of education and healthcare at Stone Ridge.

Education & Healthcare

Surrounded by top-tier schools, this family-friendly neighbourhood ensures a nurturing environment for children, making it an ideal choice for families.

- Logan Reserve State School (1 min)
- St Francis College (7 mins)
- St Philomena School (5 mins)
- Burrowes State School (10 mins)
- Marsden State High School (6 mins)

Set to open in January 2025 is a new primary school located at 450 Park Ridge Road. With a budget of \$80.3 million, the school is now under construction and will feature state of the art facilities.

The neighbourhood is ideal for growing families, boasting two childcare facilities nearby – Edge Early Learning Crestmead and Crestmead Early Education Centre.

All of life's essentials are on the estate's doorstep, with seven medical facilities located within just a 10-minute drive, including Crestmead Medical Centre. Logan Hospital is only 15 minutes away providing residents with easy access to quality medical services. The hospital is currently undergoing a \$460 million expansion to increase its capacity in line with the Logan region's rapid population growth.



St Francis College, Crestmead



Marsden State High School, Waterford West



Artists impression

\$460 million Logan Hospital Expansion



Artists impression

Future primary school at 450 Park Ridge Road

PARK RIDGE ROAD

PARKS AND RECREATION, RIGHT IN YOUR BACKYARD

Surrounded by nearby parks and recreational spaces, Stone Ridge is ideal for families of all ages and lifestyles.

Parks & Recreation

With this new estate so close in proximity to the popular Crestmead Park, enjoying all that this vast play space has to offer will be easy with the following amenities within walking distance from your front door.

- Walking tracks
- Children's playground
- Basketball court
- Skate park
- Dog park
- Community garden
- Crestmead PCYC



Crestmead PCYC, Basketball Court and Skate Park



Crestmead Park Playground

A HUB FOR TRANSPORT AND EMPLOYMENT

The City of Logan is fast growing into a powerhouse region, backed by significant investment by the Queensland Government across infrastructure, health and education.

Transport & Employment

Stone Ridge offers a rare opportunity to invest in one of the regions strongest growth corridors as property values here continue to rise.

The estate is strategically positioned nearby both the Crestmead Industrial Park as well as the Crestmead Logistics Estate which is now under construction and will deliver up to 6,000 new jobs for residents of the region upon completion. This new industrial estate will be one of the largest in Queensland, offering 650,000sqm of warehousing, business, logistics and manufacturing space.

Shops, schools and major shopping centres are easy to access via the nearby M1 and M3.

Residents can also look forward to the PRC, a future transport link that will further connect development in the wider Park Ridge area to nearby centres like Browns Plains and Logan Central, allowing faster access to the Logan and Gateway Motorways.



VIBRANT SHOPPING AND ENTERTAINMENT, CLOSE TO HOME

Convenience and retail therapy abound with a host of retail precincts nearby.

Entertainment & Shopping

Residents will be well catered for with the Crestmead Shopping Centre, Kensington Fair, Logan Central Plaza, Marsden on Fifth and Home Co. Marsden just a short distance away.

The nearby Logan Hyperdome Shopping Centre boasts over 220 retailers and is Logan's ultimate shopping, restaurant, dining, and family fun experience. With a cinema and regular family events, it's the perfect weekend fun for the entire family!

The all-new Logan Reserve Neighbourhood Shopping Centre is currently under construction and set to open early 2024. The 4000sqm shopping centre will feature a Woolworths supermarket and 15 specialty stores, including an alfresco dining precinct. The development is expected to create significant employment opportunities including 140 retail jobs on completion.



Logan Reserve Neighbourhood Shopping Centre



Logan Hyperdome Shopping Centre

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