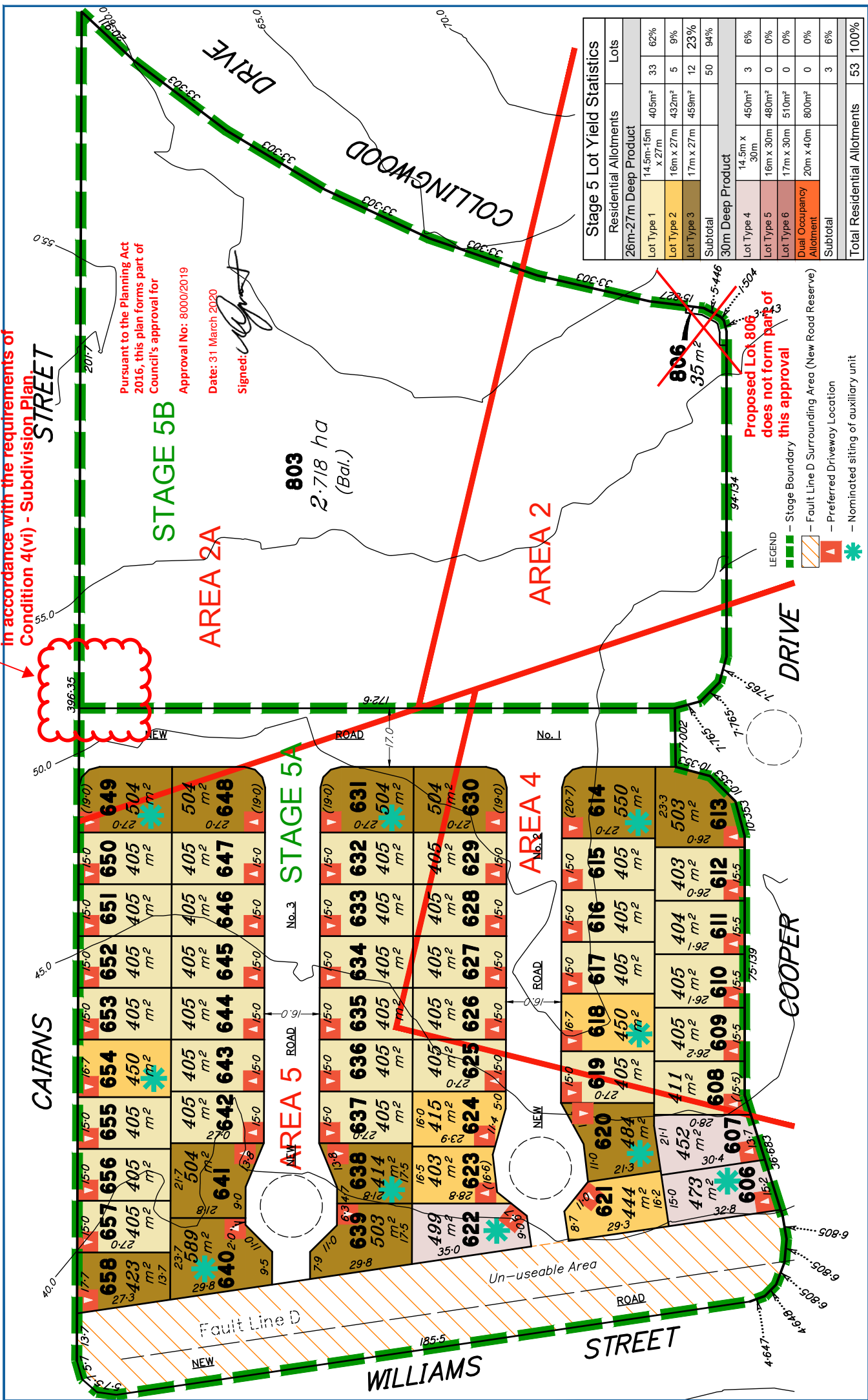


Corner truncation is required to be provided in accordance with the requirements of Condition 4(vi) - Subdivision Plan

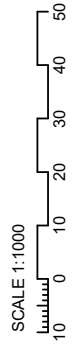


Pursuant to the Planning Act 2016, this plan forms part of Council's approval for  
 Approval No: 8000/2019  
 Date: 31 March 2020  
 Signed: [Signature]

Stage 5 Lot Yield Statistics	
Residential Allotments	Lots
26m-27m Deep Product	
Lot Type 1 14.5m-15m x 27m	33 405m <sup>2</sup> 62%
Lot Type 2 16m x 27m	5 432m <sup>2</sup> 9%
Lot Type 3 17m x 27m	12 459m <sup>2</sup> 23%
Subtotal	50 896m <sup>2</sup> 94%
30m Deep Product	
Lot Type 4 14.5m x 30m	3 450m <sup>2</sup> 6%
Lot Type 5 16m x 30m	0 480m <sup>2</sup> 0%
Lot Type 6 17m x 30m	0 510m <sup>2</sup> 0%
Dual Occupancy Allotment 20m x 40m	0 800m <sup>2</sup> 0%
Subtotal	3 1680m <sup>2</sup> 6%
<b>Total Residential Allotments</b>	<b>53</b> <b>1000%</b>

**Proposed Lot 806 does not form part of this approval**

- LEGEND
- Stage Boundary
  - Fault Line D Surrounding Area (New Road Reserve)
  - Preferred Driveway Location
  - Nominated sitting of auxiliary unit



SCALE 1:1000  
 Subdivision Proposal Plan - Stage 5  
 Six Mile Creek Estate, Collingwood Park

Issue	Revision	Int	Date
K	Added aux dwellings	AV	24/10/19
L	Substaging	AV	25/11/19
M	Cur-de-sacs, roads 2 & 3 width, lot widths	AV	5/3/19
N	Alternate cul-de-sac layout	AV	17/03/19
O	Rev M, added Lot 806	AV	17/03/19
P	Driveway locations 641, 638, 620	AV	24/03/19

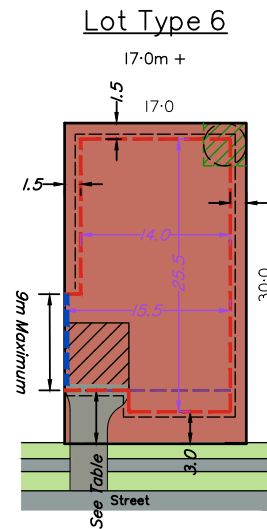
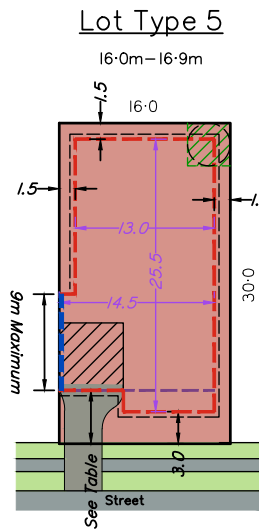
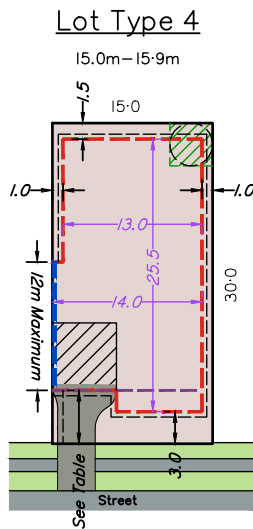
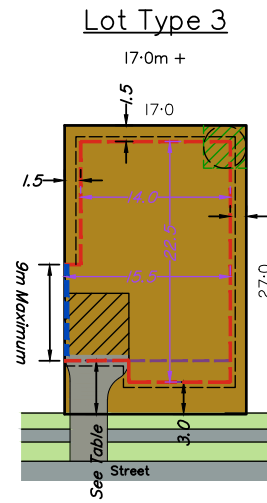
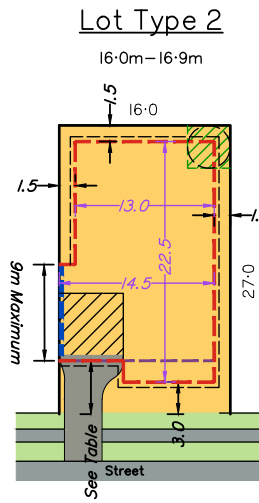
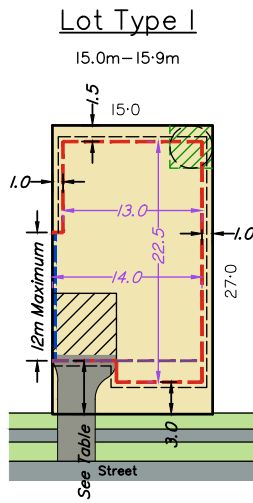
**dts** urban planning, surveying & development  
 Macray  
 PO Box 3128, West End QLD 4101  
 Ph: 07 3118 0800  
 Brisbane@dtsq.com.au

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Part of Lot 1002 on SP287293  
 Ipswich City Council  
 Sunnygold International Pty Ltd

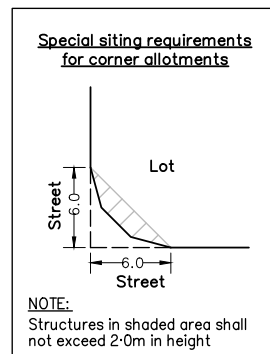
Description  
 Local Authority  
 Client

Project BNE130181  
 File A06350SK25.dwg  
 Date 24/03/2020  
 Drawing A3 5553  
 Revision P  
 Sheet 1 of 1



Plan of Development Table				
	Lot Types 1 & 4		Lot Types 2, 3, 5 & 6	
	Ground	First	Ground	First
<b>Front Setback</b>				
Living	3.0m			
Garage (Lots ≤450m²)	5.0m	N/A	5.0m	N/A
Garage (Lots >450m²)	5.5m	N/A	5.5m	N/A
<b>Corner Allotments</b>				
Secondary Frontage	2.5m			
<b>Rear Setback</b>				
Rear	1.5m	2.0m	1.5m	2.0m
<b>Side Setbacks</b>				
Built to Boundary	Optional wall up to 12m long		Optional wall up to 9m long	
Non Built to Boundary	1.0m	1.0m	1.5m	2.0m
<b>Garage Location</b>				
	Garages are to be located along the built to boundary wall			
<b>On Site Parking Requirements (Minimum)</b>				
	Minimum of 2 car parking spaces provided on-site of which 1 space is to be covered and enclosed. Single, tandem or double garage acceptable.			
<b>Site Coverage (Maximum)</b>				
	60% (Lots ≤600m²) & 50% (Lots >600m²)			

- \* Rear setbacks are measured to nominated setback line as shown on the proposal plan or to the rear property boundary where no nominated setback line is shown.
- \* Building Envelope diagrams represent single storey dwellings.
- \* Building setback dimensions are measured to wall
- \* Eaves can protrude up to 450mm
- \* Where not altered by this Plan of Development, refer to Table 12.6.1 and 12.6.2 of the Residential Code
- \* Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- \* Where a maximum built-to-boundary wall length is not proposed, side setbacks apply as per Plan of Development Table
- \* A maximum of one driveway per dwelling is permitted.
- \* The maximum width of a driveway where crossing the verge:
  - shall be 3.5m for single garages; and
  - 4.8m for double garages
- \* Site Cover - the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes overhangs.



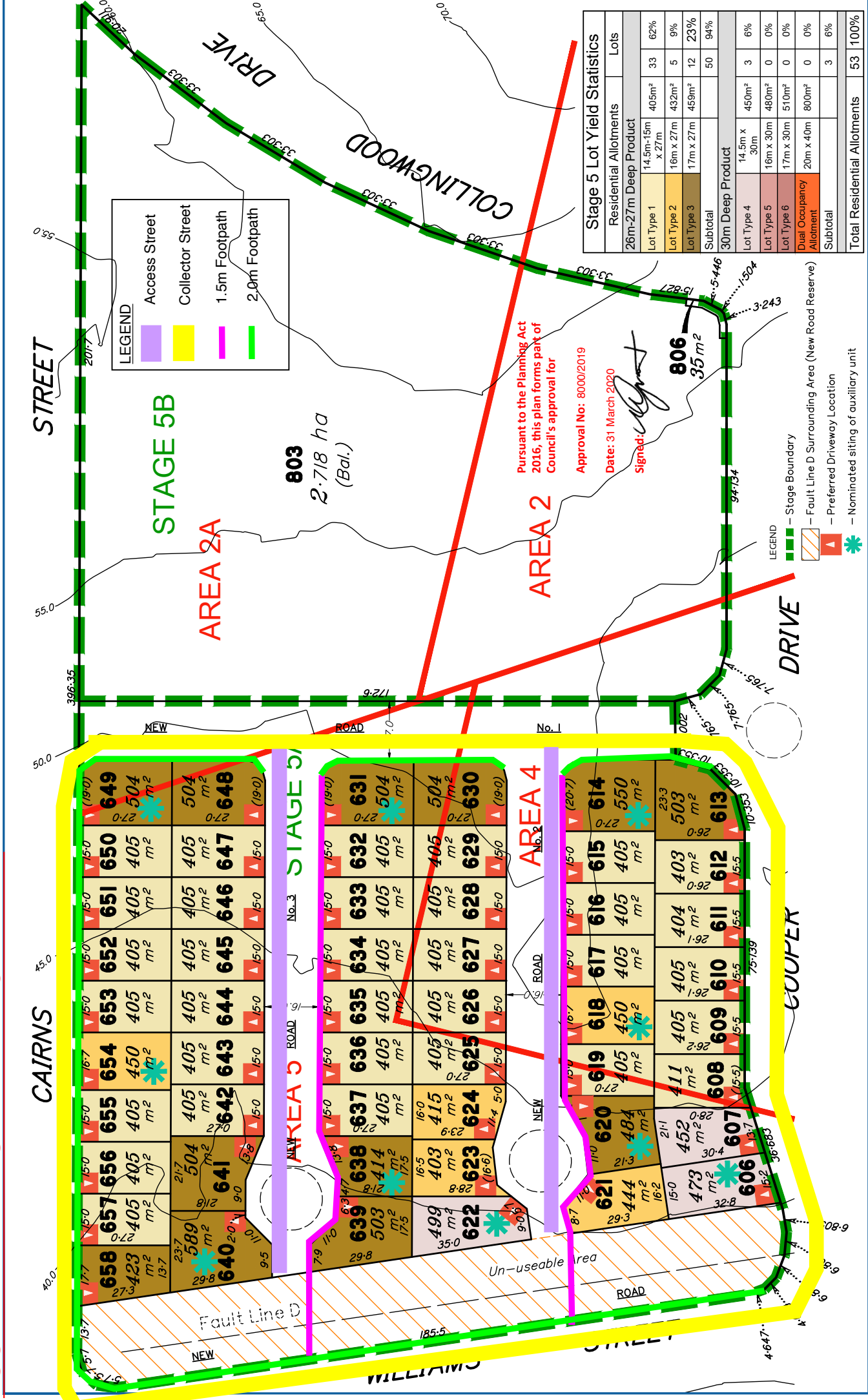
### Legend

- Maximum Building Envelope
- Garage setback to front boundary
- Optional built to boundary wall
- Setback to outer most projection
- Building setback dimensions
- Garage Location
- Preferred Private Open Space (16m² Min) with min dimension of 4m
- Nominated 30m Setback line
- Building envelope dimensions

Issue	Revision	Int	Date
A	Original issue	AV	10/09/19

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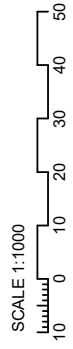
# FOOTPATH AND ROAD HIERARCHY PLAN



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Dual Occupancy Allotment 20m x 40m	800m <sup>2</sup> 0 0%
Subtotal	3 6%
<b>Total Residential Allotments</b>	<b>53 100%</b>

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 8000/2019  
Date: 31 March 2020  
Signed: *[Signature]*



SCALE 1:1000

## Subdivision Proposal Plan - Stage 5

Six Mile Creek Estate, Collingwood Park

Part of Lot 1002 on SP287293  
Ipswich City Council  
Sunnygold International Pty Ltd

Project: BNE130181  
File: A06350SK25.dwg  
Date: 24/03/2020  
Drawing: A3 5553  
Revision: P  
Sheet: 1 of 1

Issue	Revision	Int	Date
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RELAX - ENJOY - GROW

# SIX MILE CREEK ESTATE





RELAX - ENJOY - GROW

# SIX MILE CREEK ESTATE



**SALES CENTRE OPEN SAT - WED 11AM - 4PM**  
Corner of Redbank Plains Road and Collingwood Drive

**PH: 1300 037 876**

[www.SixMileCreekEstate.com.au](http://www.SixMileCreekEstate.com.au)



**Larger Lot sizes**

**Mix of Concrete sleeper  
and Sandstone Retaining\***

**Wider Frontages**

# \$2M Planned District Park

# Bushwalk trail to view of CBD

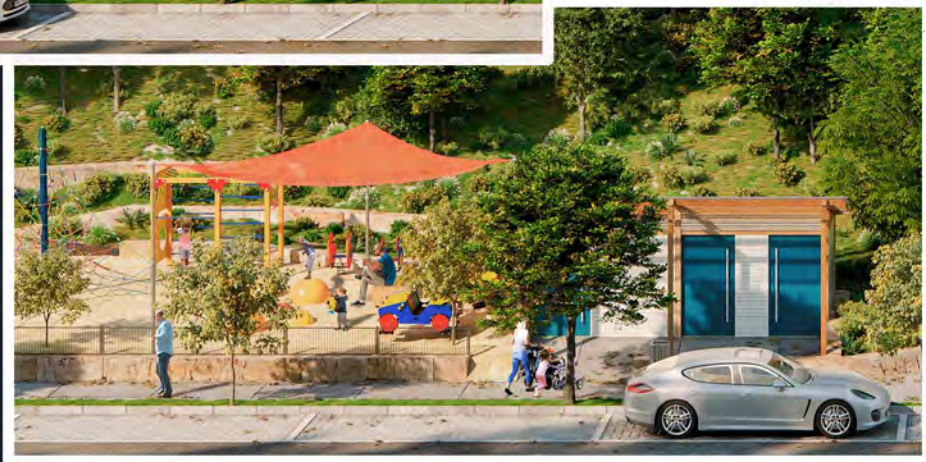


Playgrounds



BBQ facilities

**FREE**  
bike!\*



19 ha of dedicated parklands

The Estate also includes:

- Bicycle Tracks • Basketball Half Court • Exercise and Gym Equipment • More to be announced

\*Renders are for illustrative purposes only. Final details of the park are to be advised. \*Free bike: Please enquire for further details on offer. The style and type of bike are the choice of the developer and this offer may change or be cancelled at any time.



**nbn**<sup>TM</sup>  
**ready**



**natural gas**  
(stage 3 onwards)



RELAX - ENJOY - GROW

**SIX MILE CREEK ESTATE**