

Corner truncation is required to be provided in accordance with the requirements of Condition 4(vi) - Subdivision Plan

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 8000/2019

Date: 31 March 2020

Signed: [Signature]

Stage 5 Lot Yield Statistics				
Residential Allotments			Lots	
26m-27m Deep Product				
Lot Type 1	14.5m-15m x 27m	405m ²	33	62%
Lot Type 2	16m x 27m	432m ²	5	9%
Lot Type 3	17m x 27m	459m ²	12	23%
Subtotal			50	94%
30m Deep Product				
Lot Type 4	14.5m x 30m	450m ²	3	6%
Lot Type 5	16m x 30m	480m ²	0	0%
Lot Type 6	17m x 30m	510m ²	0	0%
Dual Occupancy Allotment	20m x 40m	800m ²	0	0%
Subtotal			3	6%
Total Residential Allotments			53	100%

Proposed Lot 806 does not form part of this approval

- LEGEND
- Stage Boundary
 - Fault Line D Surrounding Area (New Road Reserve)
 - Preferred Driveway Location
 - Nominated siting of auxiliary unit

SCALE 1:1000



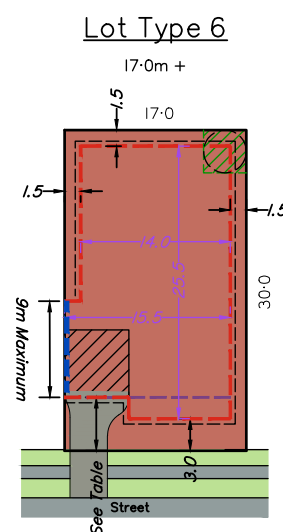
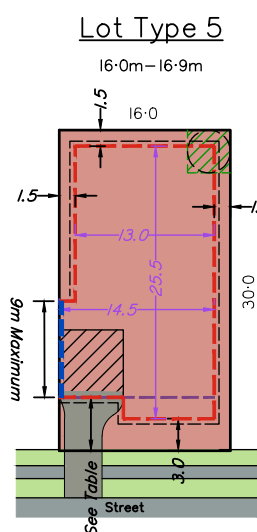
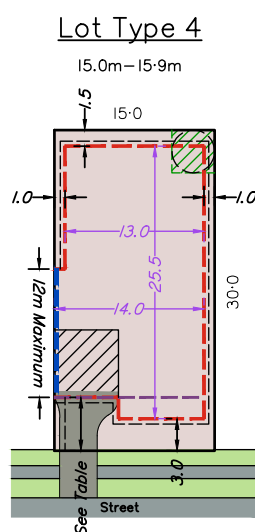
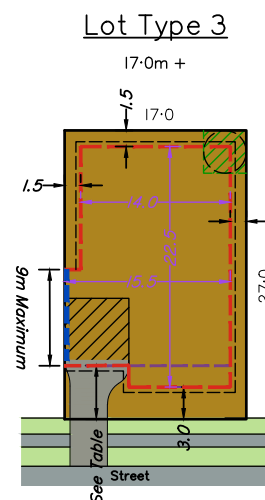
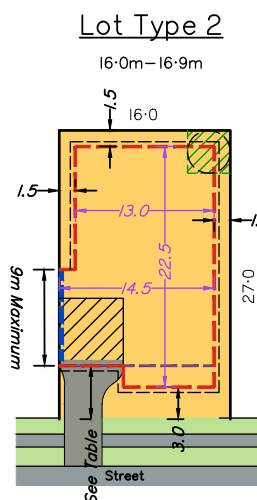
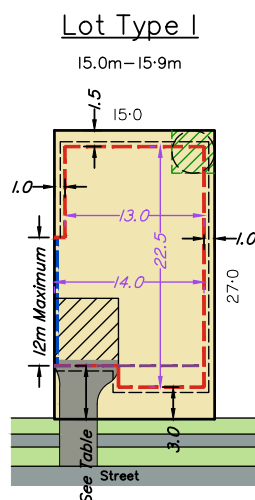
Subdivision Proposal Plan - Stage 5
Six Mile Creek Estate, Collingwood Park

Description
Local Authority
Client
Part of Lot 1002 on SP287293
Ipswich City Council
Sunnygold International Pty Ltd

This plan has been prepared by DTS as a proposal plan and should not be used for any other purpose. The information contained on this plan is approximate only, has not been verified and may be subject to change. The intellectual property on this plan remains the property of DTS. The contours shown on this plan have been derived from aerial survey.

Project BNE130181
File A06350SK25.dwg
Date 24/03/2020
Drawing A3 5553
Revision P
Sheet 1 of 1

Issue	Revision	Int	Date
K	Added aux dwellings	AV	24/10/19
L	Subtagging	AV	25/11/19
M	Cul-de-sacs, roads 2 & 3 width, lot widths	AV	5/03/19
N	Alternate cul-de-sac layout	AV	10/03/19
O	Rev M, added Lot 806	AV	17/03/19
P	Driveway locations 641, 638, 620	AV	24/03/19

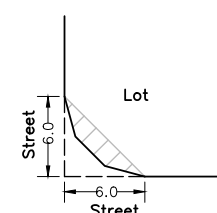


Plan of Development Table

Plan of Development Table				
	Lot Types 1 & 4		Lot Types 2, 3, 5 & 6	
	Ground	First	Ground	First
Front Setback				
Living	3.0m			
Garage (Lots ≤450m²)	5.0m	N/A	5.0m	N/A
Garage (Lots >450m²)	5.5m	N/A	5.5m	N/A
Corner Allotments				
Secondary Frontage	2.5m			
Rear Setback				
Rear	1.5m	2.0m	1.5m	2.0m
Side Setbacks				
Built to Boundary	Optional wall up to 12m long		Optional wall up to 9m long	
Non Built to Boundary	1.0m	1.0m	1.5m	2.0m
Garage Location	Garages are to be located along the built to boundary wall			
On Site Parking Requirements (Minimum)	Minimum of 2 car parking spaces provided on-site of which 1 space is to be covered and enclosed. Single, tandem or double garage acceptable.			
Site Coverage (Maximum)	60% (Lots ≤600m²) & 50% (Lots >600m²)			

- * Rear setbacks are measured to nominated setback line as shown on the proposal plan or to the rear property boundary where no nominated setback line is shown.
- * Building Envelope diagrams represent single storey dwellings.
- * Building setback dimensions are measured to wall
- * Eaves can protrude up to 450mm
- * Where not altered by this Plan of Development, refer to Table 12.6.1 and 12.6.2 of the Residential Code
- * Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- * Where a maximum built-to-boundary wall length is not proposed, side setbacks apply as per Plan of Development Table
- * A maximum of one driveway per dwelling is permitted.
- * The maximum width of a driveway where crossing the verge:
 - shall be 3.5m for single garages; and
 - 4.8m for double garages
- * Site Cover – the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes overhangs.

Special siting requirements for corner allotments



Legend

- Maximum Building Envelope
- Garage setback to front boundary
- Optional built to boundary wall
- Setback to outer most projection
- Building setback dimensions
- Garage Location
- Preferred Private Open Space (16m² Min) with min dimension of 4m
- Nominated 30m Setback line
- Building envelope dimensions

Issue	Revision	Int	Date
A	Original issue	AV	10/09/19

This plan has been prepared by DTS as a proposal plan and should not be used for any other purpose. The information contained on this plan is approximate only, has not been verified and may be subject to change. The intellectual property on this plan remains the property of DTS.

STAGE 5B

AREA 2A

AREA 2B

AREA 3

AREA 4

LEGEND

- Access Street
- Collector Street
- 1.5m Footpath
- 2.0m Footpath

STAGE 5 Lot Yield Statistics

Residential Allotments		Lots	
26m-27m Deep Product			
Lot Type 1	14.5m-15m x 27m	405m ²	33
Lot Type 2	16m x 27m	432m ²	5
Lot Type 3	17m x 27m	459m ²	12
Subtotal			50
30m Deep Product			
Lot Type 4	14.5m x 30m	450m ²	3
Lot Type 5	16m x 30m	480m ²	0
Lot Type 6	17m x 30m	510m ²	0
Dual Occupancy Allotment	20m x 40m	800m ²	0
Subtotal			3
Total Residential Allotments			53
Total Residential Lots			100%

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 8000/2019

Date: 31 March 2020

Signed: [Signature]

LEGEND

- Stage Boundary
- Fault Line D Surrounding Area (New Road Reserve)
- Preferred Driveway Location
- Nominated siting of auxiliary unit

Issue	Revision	Date
K	Added aux dwellings	AV 24/10/19
L	Substaging	AV 25/11/19
M	Cul-de-sac, roads 2 & 3 width, lot widths	AV 5/03/19
N	Alternate cul-de-sac layout	AV 10/03/19
O	Rev M, added Lot 806	AV 17/03/19
P	Driveway locations 641, 638, 620	AV 24/03/19

Issue Description
Part of Lot 1002 on SP287293
Ipswich City Council
Sunnyside International Pty Ltd

Local Authority Client

SCALE 1:1000

10 20 30 40 50

Subdivision Proposal Plan - Stage 5

Six Mile Creek Estate, Collingwood Park

urban planning, surveying & development

Mackay

PO Box 1171, Mackay Queensland 4101
Phone 08 4553 3181
Fax 08 4553 3180
mackay@dtsgld.com.au

dtsgld.com.au

Brasbaine

PO Box 88, West End QLD 4101
Phone 08 4553 3181
Fax 08 4553 3180
mackay@dtsgld.com.au

Drawing A3 5553
Revision
Sheet 1 of 1

Project BNE 130181
File A06350SK25.dwg
Date 24/03/2020



RELAX - ENJOY - GROW

SIX MILE CREEK ESTATE



RELAX - ENJOY - GROW

SIX MILE CREEK ESTATE



SALES CENTRE OPEN SAT - WED 11AM - 4PM

Corner of Redbank Plains Road and Collingwood Drive

PH: 1300 037 876

www.SixMileCreekEstate.com.au



Larger Lot sizes

**Mix of Concrete sleeper
and Sandstone Retaining***

Wider Frontages

\$2M Planned District Park

Bushwalk trail to view of CBD



**FREE
bike!***



19 ha of dedicated parklands

The Estate also includes:

• **Bicycle Tracks** • **Basketball Half Court** • **Exercise and Gym Equipment** • **More to be announced**



nbnTM
ready

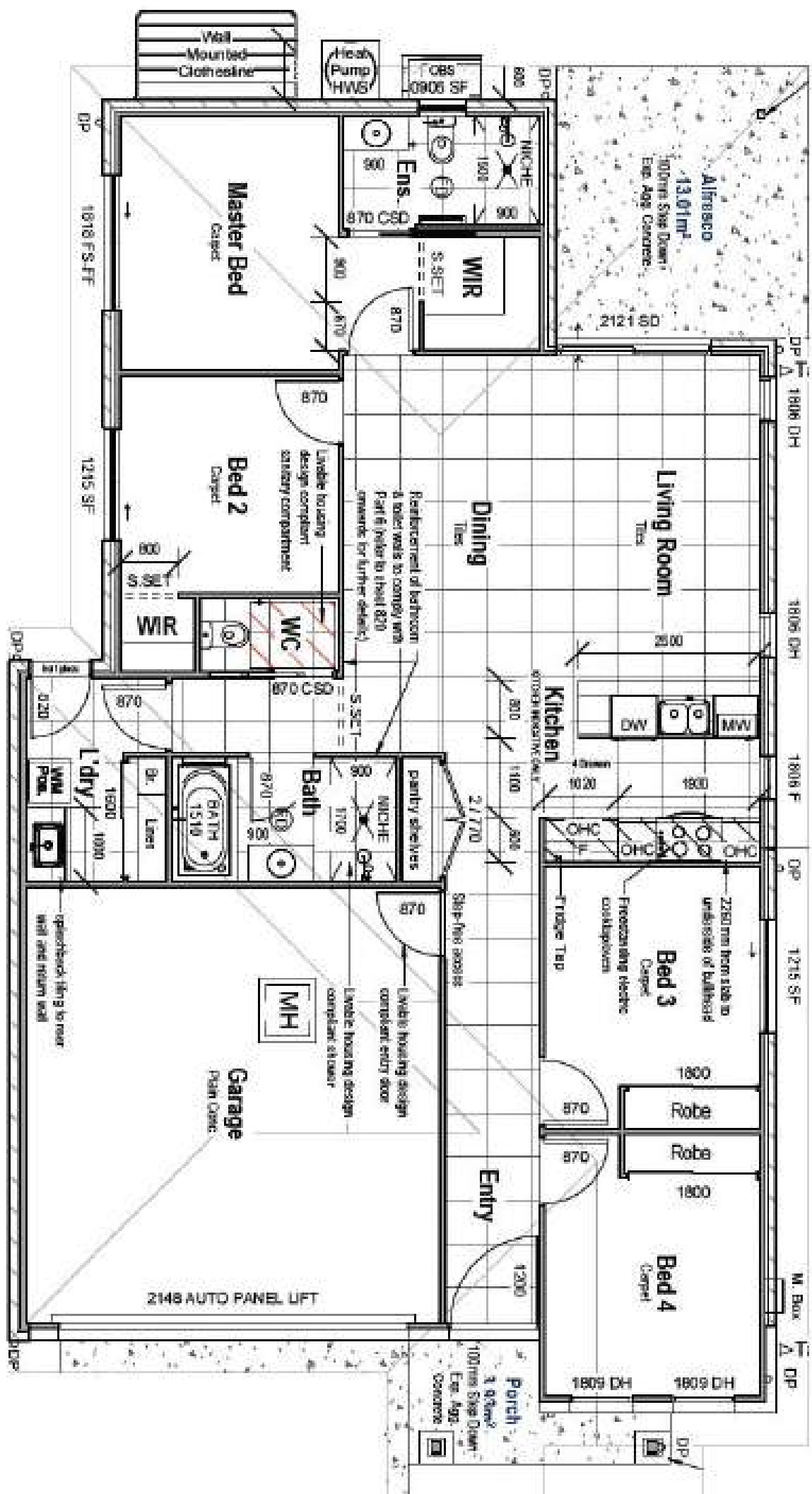


natural gas
(stage 3 onwards)



RELAX - ENJOY - GROW

SIX MILE CREEK ESTATE





Cadence 180 - Hamptons
ARTIST IMPRESSION ONLY

Perspectives					HOUSE TYPE: Cadence 180 - Hamptons	DRAWN: RSM	ISSUE: A		
					CLIENT: TBC	PAGE #: 000	BAL: N/A		
					SITE DETAILS: Lot 316 Harvard Road 'Six Mile Creek - Stage 6B' Collingwood Park QLD 4301	WIND: N/A	ACOUSTIC: N/A		
						JOB No: TBC			
						SCALE:			
	A	19.03.25	SITING PLAN						
ISS	DATE	DESCRIPTION							

Site Notes

1.) Contours and levels shown are produced from disclosure plans and are not guaranteed to be correct

2.) Topography shown is based on an assumed datum Point.

3.) All survey pegs are to be located prior to earthworks.

4.) Surface water to be drained away from dwelling (provide a 1:20 minimum fall).

5.) Maximum batters shall be provided as follows:
(i) CUT-1:1 (ii) FILL-1:2 (iii) VEHICULAR ACCESS-1:4

6.) The working PAD RL noted on the site plan shall have a tolerance of up to 100mm

7.) The Builder takes no responsibility for retaining or drainage requirements caused by conditions on adjoining properties. Such works are to be carried out by the owner.

8.) Footpath in driveway may or may not be removed subject to site conditions.

9.) Site Pad level to be determined/confirmed by the Engineer. Refer to the engineering plans/report for further details.

10.) All retaining walls will be decided on site by the relevant site supervisor.

11.) Clothesline & letterbox position subject to site conditions and may change.

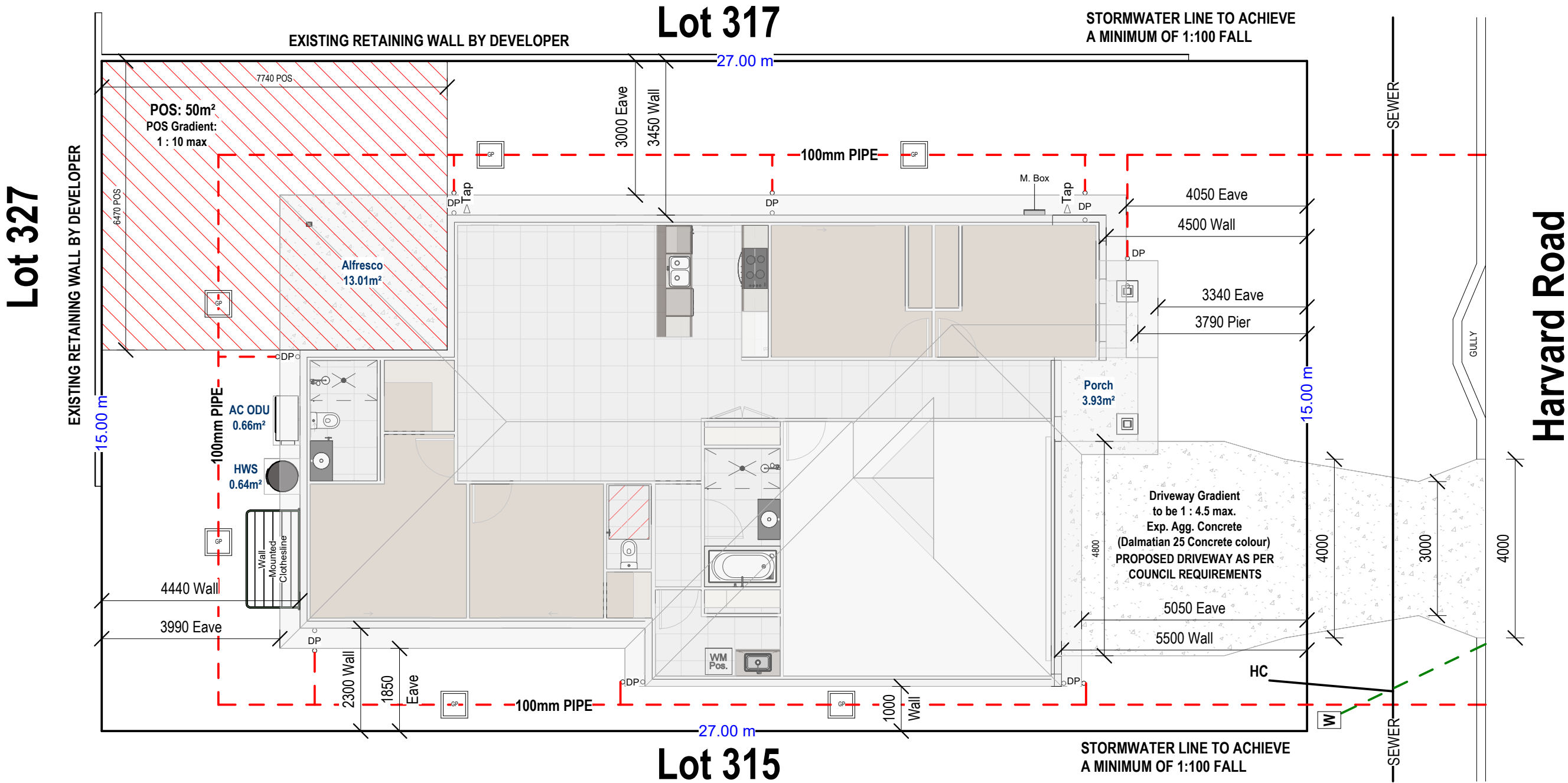
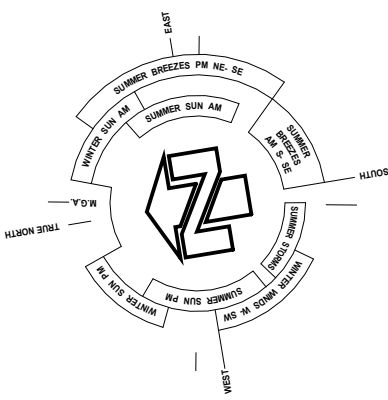
- VARIATION SCHEDULE**
- 1. Livable Housing Applicable
 - 2. Whole of Home Applicable
 - 3. Freestanding electric cooktop/oven
 - 4. Heat pump hot water system
 - 5. Picture frames, stop ends, posts, crows foot / vent to be painted in Greyology 1
 - 6. Lot is connected to the NBN network
 - 7. Bulk insulation to ceiling (excluding Porch, Alfresco, Garage)

PROPERTY DESCRIPTION

Lot - 316
Street Number - 11
SP - SP322923
Authority - Ipswich City Council

SITE COVERAGE = 44%
LOT AREA = 405m²
HOUSE FOOTPRINT = 180m²

GL = 33.00
CUT = 100mm
FILL = 100mm
FL = REFER TO ENGINEERS



Site Plan					HOUSE TYPE: Cadence 180 - Hamptons	DRAWN: RSM ISSUE: A	A3
					CLIENT: TBC	PAGE #: 100 BAL: N/A	
					SITE DETAILS: Lot 316 Harvard Road 'Six Mile Creek - Stage 6B' Collingwood Park QLD 4301	WIND: N/A ACOUSTIC: N/A	
						JOB No: TBC	
						SCALE: 1 : 100	
	A	19.03.25	SITING PLAN				
	ISS	DATE	DESCRIPTION				

Area Schedule	
Name	Area
Alfresco	13.22 m²
Garage	36.94 m²
Lower Living	126.46 m²
Porch	4.10 m²
Grand total: 4	180.73 m²

Energy Efficiency Requirements

Plan is to achieve a minimum **7 (out of 10) star energy efficiency rating** as set out by the Queensland Development Code 4.1 - Sustainable Buildings (QDC MP 4.1).

Plan is to achieve a minimum **60 (out of 100) Whole of Home assessment rating** as set out in the National Construction Code (NCC 2022)

GENERAL NOTES:

Figure dimentions take precedence to scaled dimensions. Internal dimensions between framing, etc. do not include the allowance for lining thicknesses. Angled walls shall be 45° unless noted otherwise.

Separate W/C rooms to have Lift off Hinges

All Bathrooms, W/Cs, Ensuites and Laundries, without Natural Ventilation (windows) to have Mechanical Exhaust Fans.

Bulkheads:
2260mm from slab to underside (unless noted otherwise).

Livable Housing Design:

Plans to comply with Livable Housing Design Standard 2022. Refer to sheet 820 onwards for further details.

Step Free Access Path Exemption

This lot is using a step free access path via the driveway/garage due to one of the following:

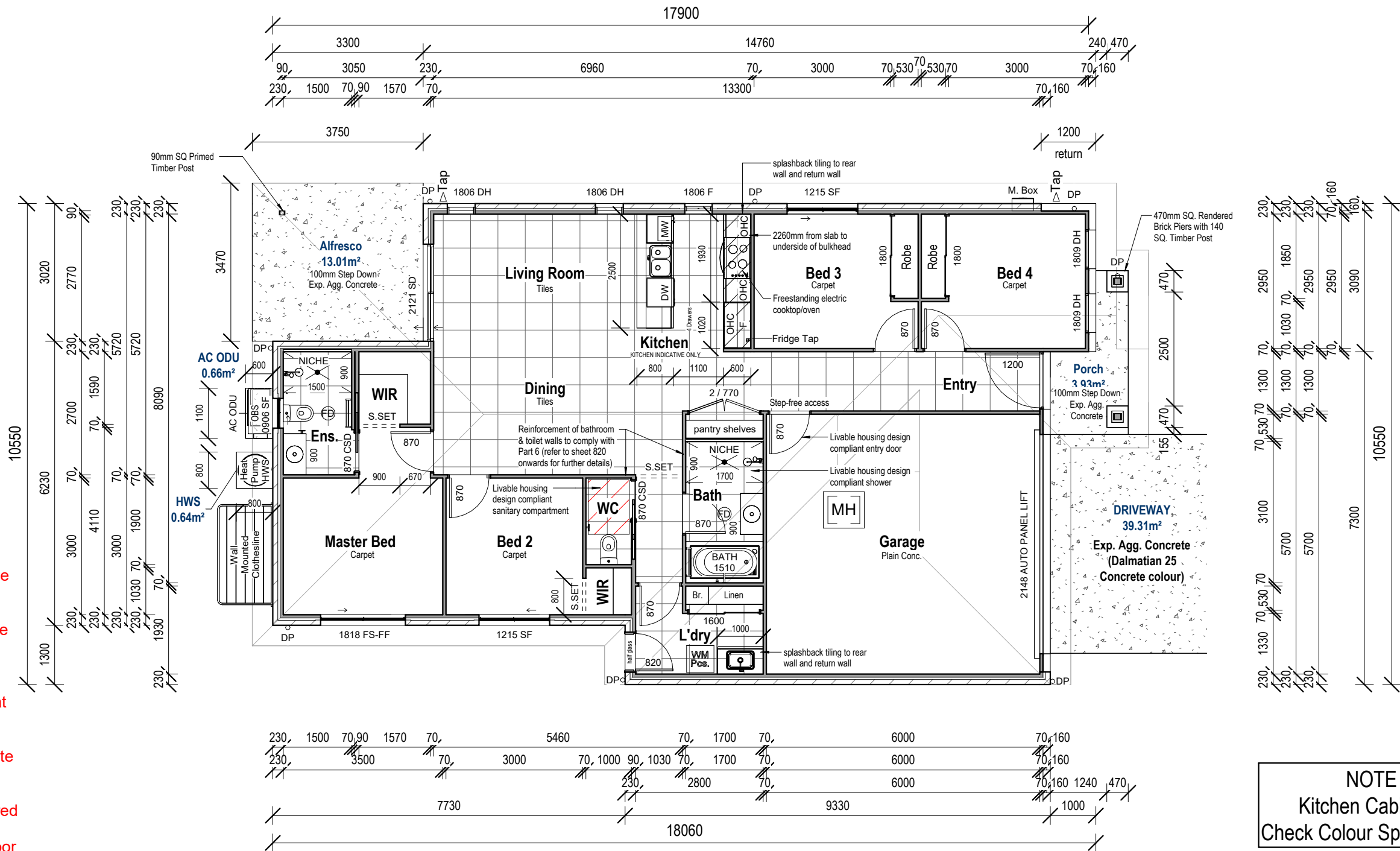
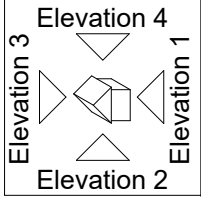
- The average slope of the ground on which the access path would be constructed exceeds a gradient of 1:14.
- To provide an external step-free access path would necessitate construction of ramping that exceeds the length and gradient allowed by Clause 1.1(4).
- There is insufficient space available on the site on which to construct a step-free access path complying with Clause 1.1.
- Subject to (3), the difference in level, measured vertically from the pedestrian entry at the allotment boundary or parking space to the floor level at the entrance door on the nearest floor containing habitable rooms, would necessitate construction of ramping that exceeds the length and gradient allowed under Clause 1.1(4).

Lot is connected to the NBN network

1:80 fall minimum fall to all drains

50mm slab recess for bathroom/ ensuite tile bedding

2740mm ceiling height



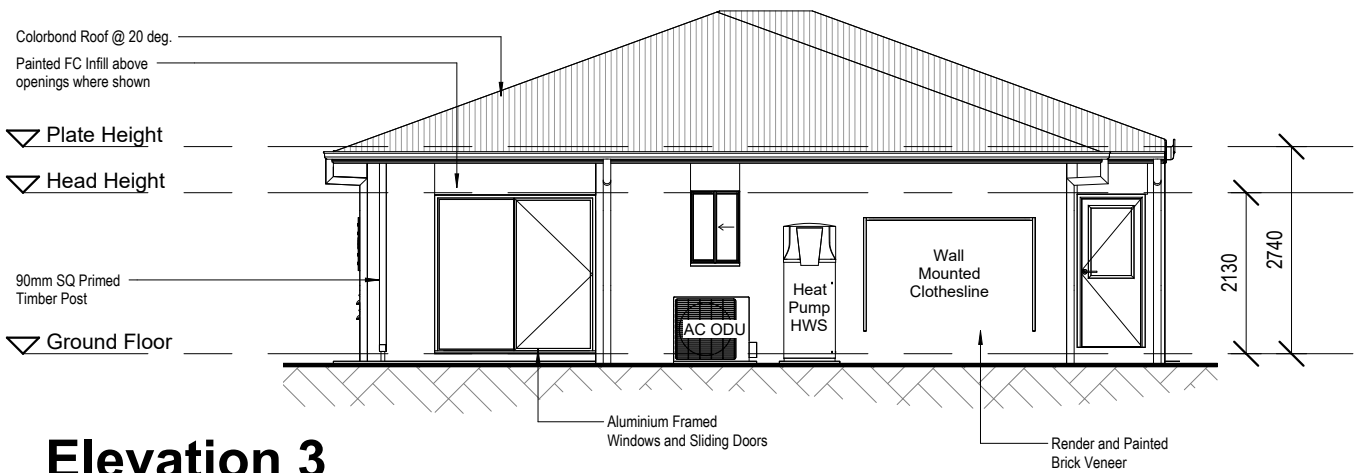
NOTE :
Kitchen Cabinetry :
Check Colour Specifications

NOTE :
Laundry & Bathroom Cabinetry :
Check Colour Specifications

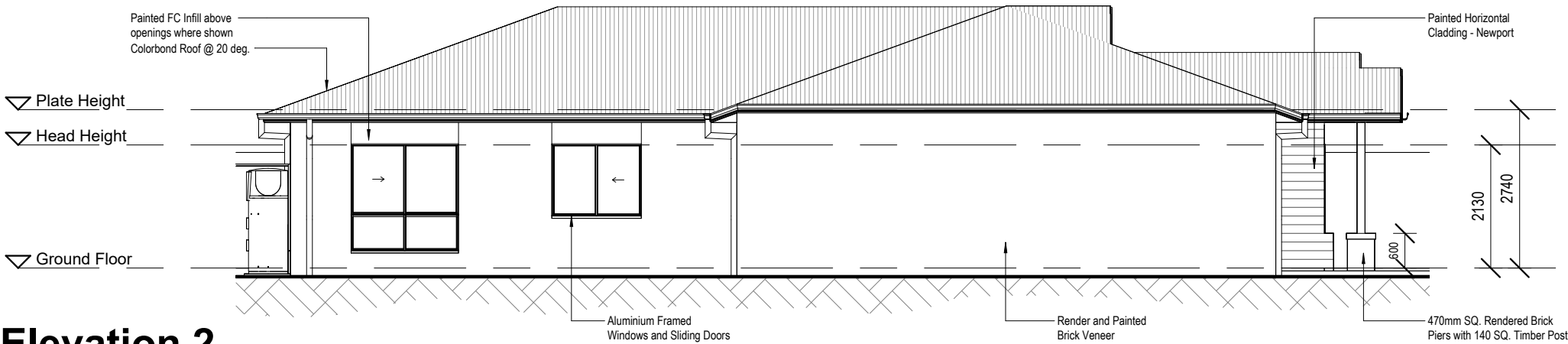
Ground Floor Plan				HOUSE TYPE: Cadence 180 - Hamptons	DRAWN: RSM ISSUE: A	A3
				CLIENT: TBC	PAGE #: 200 BAL: N/A	
				SITE DETAILS: Lot 316 Harvard Road 'Six Mile Creek - Stage 6B' Collingwood Park QLD 4301	WIND: N/A ACOUSTIC: N/A	
					JOB No: TBC	
					SCALE: 1 : 100	
	A	19.03.25	SITING PLAN			
	ISS	DATE	DESCRIPTION			



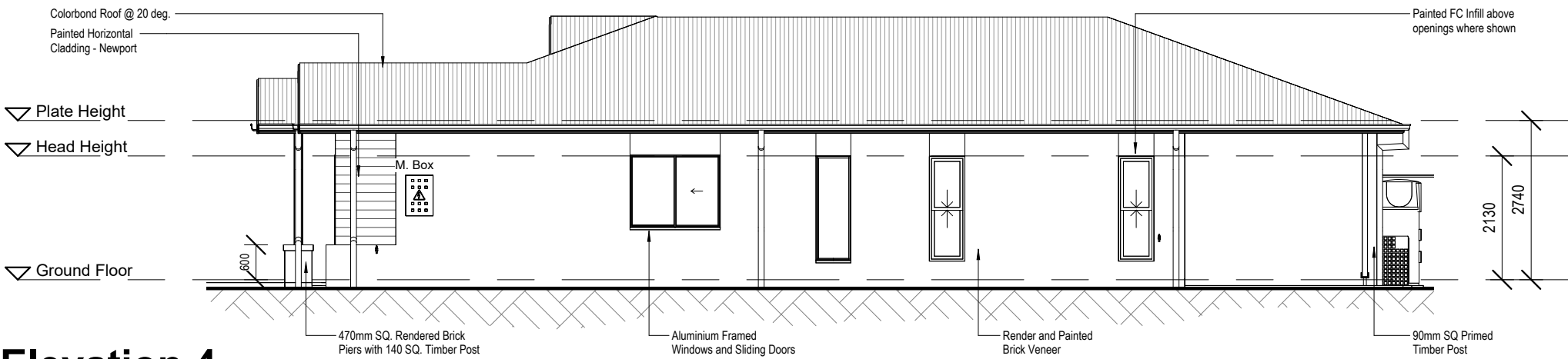
Elevation 1
1 : 100



Elevation 3
1 : 100



Elevation 2
1 : 100



Elevation 4
1 : 100

Elevations				HOUSE TYPE: Cadence 180 - Hamptons	DRAWN: RSM ISSUE: A	A3
				CLIENT: TBC	PAGE #: 400 BAL: N/A	
				SITE DETAILS: Lot 316 Harvard Road 'Six Mile Creek - Stage 6B' Collingwood Park QLD 4301	WIND: N/A ACOUSTIC: N/A	
					JOB No: TBC	
					SCALE: 1 : 100	
	A	19.03.25	SITING PLAN			
	ISS	DATE	DESCRIPTION			

LOT INFORMATION PLAN
PROPOSED LOT 316

1. These notes form an integral part of this plan. No part of this plan may be reproduced without these notes being included.
2. All dimensions and areas shown are subject to final survey and relevant local authority approval.
3. This plan has been prepared for issue to a buyer to provide information on the as constructed services and surface of the proposed lot. It is not to be used for any other purpose.
4. Levels and contours shown on this plan are not to be used for building design or construction; a topographical survey of the site is required.
5. Any engineering detail (retaining walls, etc.) shown on this plan is indicative only.
6. For further detail regarding services, facilities and features which may have relevance to the proposed lot, reference should be made to the Development Application approval conditions, the approved operational works drawings, the current engineering drawings and the as constructed drawings.

Contour Interval – 0.25 metre

— 32.0 — As Constructed Contours

Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)

Preferred Driveway Location

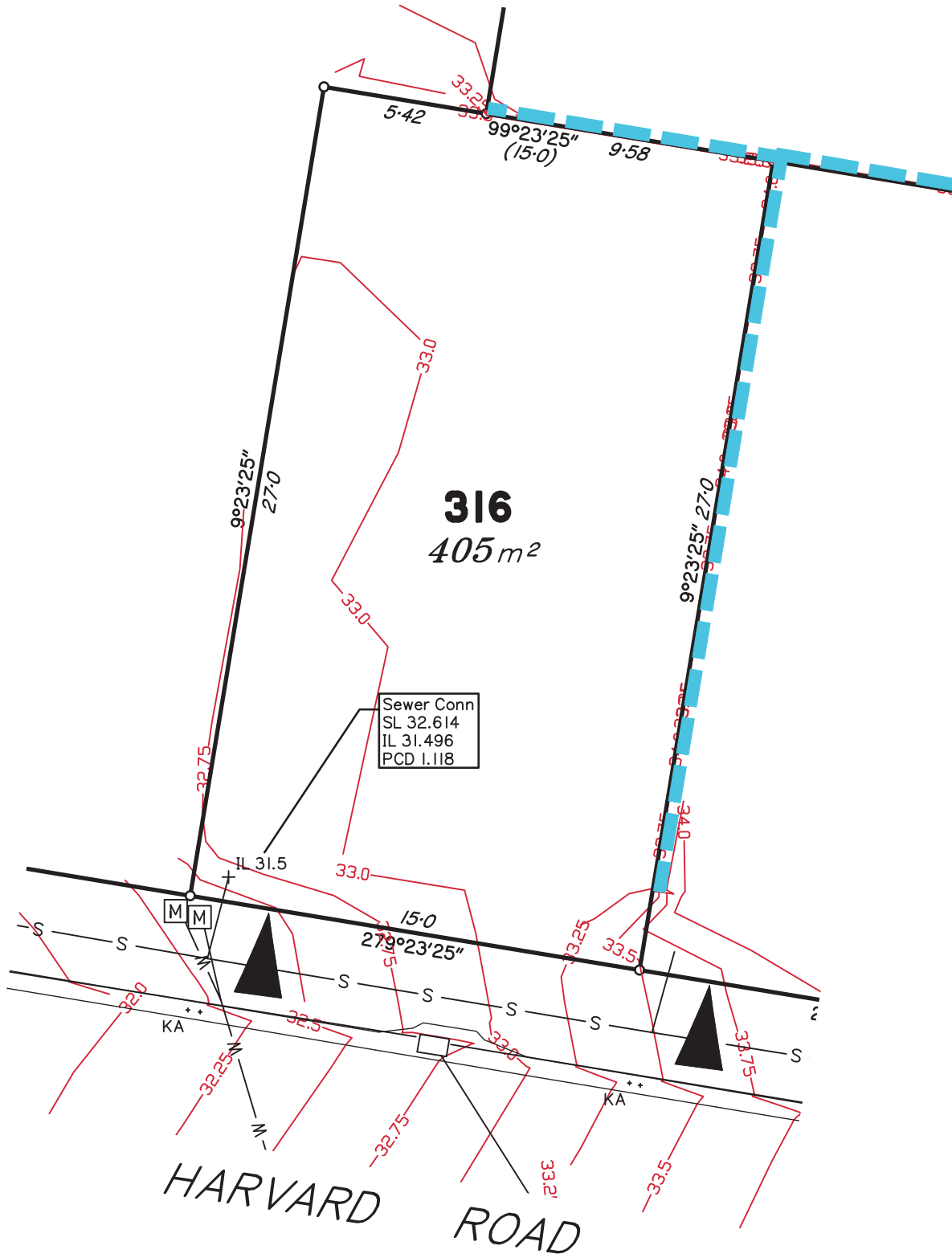
SERVICES

S Sewer Line
Sewer Manhole
SL Surface Level
IL Invert Level
PCD Property Connection Depth
Drainage Pit
SW Stormwater Line
x KA Kerb Adaptor

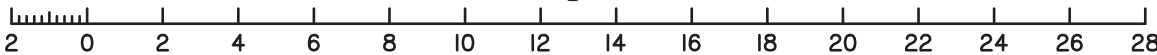
W Water Line
Water Meter

Telstra Pit
Electricity Box
Light Pole

Meridian: MGA Zone 56 ☒ Yes ☐ No
Contour Height Datum: AHD



Scale 1:200 – Lengths are in metres.



LOCALITY MAP



Brisbane Mackay
PO Box 3128, West End QLD 4101 PO Box 11711, Mackay Caneland QLD 4740
Ph: 07 3118 0600 Ph: 1300 278 783
brisbane@dtsqld.com.au mackay@dtsqld.com.au

A	ORIGINAL ISSUE	13/08/24	RM	LM
Issue	Details	Date	Drawn	Checked

LOT INFORMATION PLAN
SUNNYGOLD PROPERTIES
STAGE 6B "SIX MILE CREEK"
COLLINGWOOD DRIVE, COLLINGWOOD PARK

Dwg No: A3-6875/316	Issue: A
Project: BNE130181	
File: B130181Sk1.dwg	



QUALITY STANDARD INCLUSIONS

FIXED
GUARANTEE
PRICE

100%
TURNKEY



WINNER 2024
Gold Coast / Northern Rivers
Project Home of the Year



WINNER 2024
Gold Coast / Northern Rivers
Project Home
Up to \$500,000



WINNER 2023
HIA Queensland
Emerging Builder



WINNER 2023
Gold Coast / Northern Rivers
Project Home
Up to \$500,000

When building you want to be **confident** that everything you need is included in your new home.



2740MM CEILING HEIGHT*



DUCTED AIR CONDITIONING



LITHOSTONE® BENCHTOPS



600 X 600MM TILES OR
TIMBER LOOK FLOORING



LANDSCAPING, DRIVEWAY
AND FENCING



PLUS MUCH MORE! *REFER TO DETAILED SCHEDULE

KITCHEN INCLUSIONS



FIXTURES AND FINISHES

- 2 Pac gloss, matt, or timber look cabinetry (optional upgrade) with soft close hinges and finger pull doors and drawers (no handles) with bulkhead, overhead cupboards and microwave recess
- 20mm Lithostone® benchtops with breakfast bar
- 900mm upright freestanding stainless steel electric cooktop and oven
- Undermount rangehood built in to overhead cabinetry
- Window or tiled splashback
- Stainless steel dishwasher
- Single fridge water connection

SINKS & TAPWARE

- Flickmixer gooseneck tapware – chrome/satin plated
- Stainless steel 1 ½ bowl undermount sink



KITCHEN INCLUSIONS



Undermount
Rangehood

Bulkhead with
Shadow Lining

900mm
Freestanding
Cooktop & Oven

Gooseneck Tap

Double Bowl
Undermount Sink

Lithostone®
20mm Benchtops

Soft Close, Finger
Pull Drawers &
Cupboards



KITCHEN SINK MIXER
AC HUSS GOOSENECK SINK
MIXER CHROME



KITCHEN SINK
EURO HELSINKI
1.75 UNDER COUNTER SINK



COOKTOP & OVEN
TECHNIKA 900MM UPRIGHT
STAINLESS STEEL ELECTRIC
COOKTOP AND OVEN IN ONE



UNDERMOUNT RANGEHOOD
TECHNIKA 900MM CONCEALED
UNDERMOUNT RANGEHOOD

DISHWASHER
BELISSIMO BY TECHNIKA
600MM DISHWASHER



LIVING INCLUSIONS



FLOORING

- Selection of 600 x 600 porcelain tiling to entry, kitchen, pantry, living zones and wet areas OR vinyl plank timber flooring upgrade option to entry, kitchen, pantry and living zones
- Quality Nylon or equivalent carpet to all bedrooms and/or living as per plans and builders range selected colour scheme

ELECTRICAL

- Lighting – White fitted LED lights as per electrical plan
- External lighting – porch, alfresco and front of garage
- Double power points to all internal living areas as shown on plan
- Single power points to garage and kitchen
- Ducted air conditioning
- Air-con isolator on external wall
- 1 telephone point
- TV Antenna (if not in a Smartwire – OptiComm or Telstra Velocity area)
- RCD Safety switch
- 2 TV Points
- 2 Data Points
- White ceiling fans to all bedrooms, living and alfresco as shown on plans
- Hot Water Heat Pump
- External power point to service hot water system
- Exhaust fan to toilets where shown on plans
- Smoke alarms to all bedrooms and applicable internal areas to conform with legislation at time of Building Approval

LIVING INCLUSIONS



3 Coat Paint System

2740mm Ceiling Height to ground level

Vinyl Plank Flooring (optional upgrade)

1200mm Wide Entry Door



Overhead Shelf

Hanging Rail

Wardrobe Shelving

Roller Blinds

Mirrored Robes

CEILINGS AND FIXTURES

- 2740mm ceilings
- Architrave 66mm x 11mm and Skirting 66mm x 11mm
- 90mm cornice
- Ceilings and walls 10mm plasterboard
- Wet area walls 6mm villa board or 10mm waterproof plaster board

PAINT

- Internal 3 coat paint system (1 coat of sealer and 2 coats of colour)
- Custom colour scheme if requested
- White colour finish to all ceilings and cornice
- White internal walls premium sealer and professional low sheen
- Doors – Aquanamel as per selected colour scheme
- Architraves, skirting and all doors are full gloss as per selected colour scheme

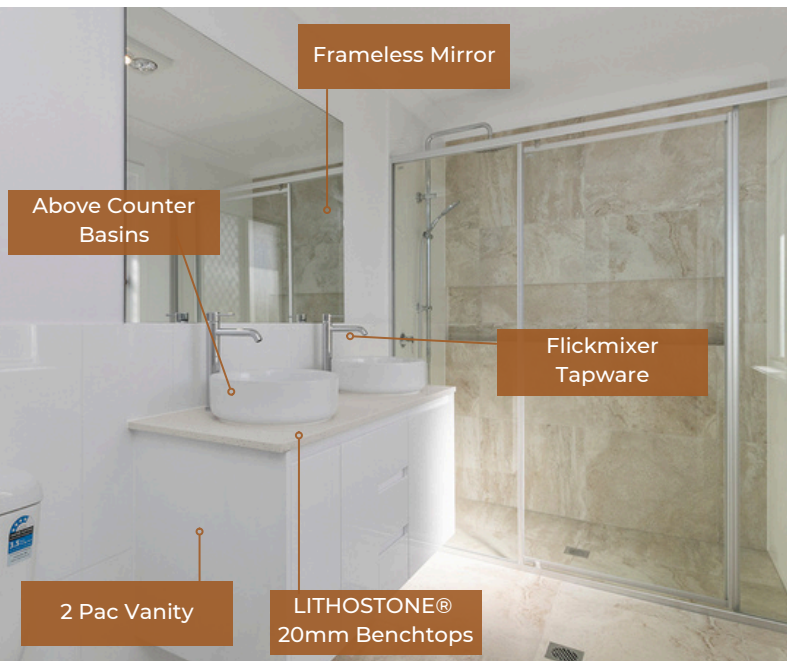
ROBES AND LINEN

- Vinyl robe doors with brushed aluminium frame to robes in living areas, and mirrored robes to bedrooms
- Shelving: overhead shelf, hanging rail and set of pigeon hole cupboards to all robes, 2 to master, 4 shelves to linen and walk in pantry, if a broom cupboard is provided a single overhead shelf is to be installed

INTERNAL DOORS AND HANDLES

- Roller blinds to all clear glazed windows and sliding doors
- Brushed silver Gainsborough/Lanes/Lockwood or equivalent door hardware with privacy to master and wet areas
- Door stops and/or clips to all swing doors
- Hume redicote flush finish pre-hung with chrome or satin hinges to internal doors

ENSUITE AND BATHROOM INCLUSIONS

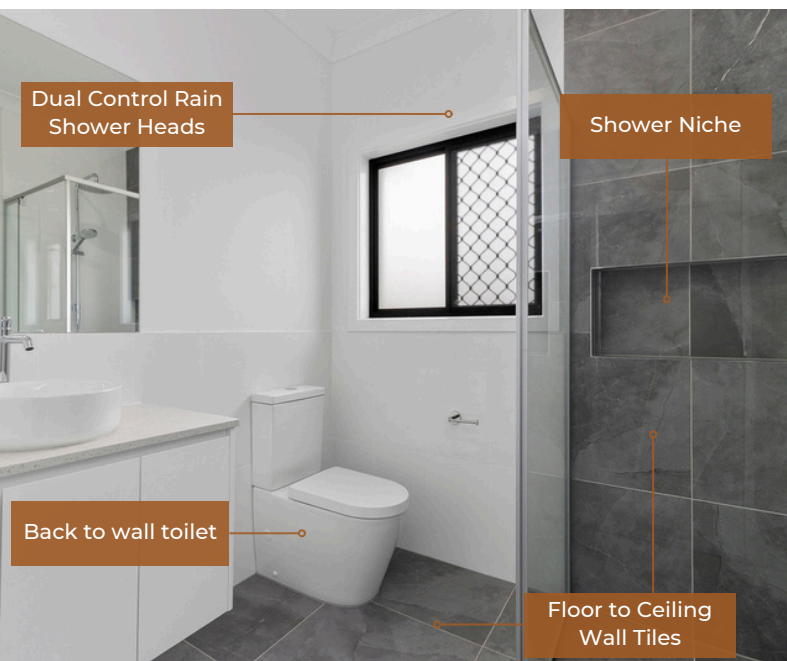


VANITY

- Cabinetry – 2 Pac gloss wall hung vanity
- Solid soft close doors
- 20mm Lithostone® benchtops
- Frameless mirror to width of vanity

BASINS AND TAPWARE

- Above counter basins to bathrooms
- Flickmixer tapware to shower/bath and vanity



SHOWER

- Shower screen – clear laminated in powder coated aluminium surround. Pivot or sliding door
- Built in niches to showers
- Floor to ceiling wall tiles to showers
- Upgraded shower heads (dual control rain heads)

BATH

- Built in and tiled bath hob
- Drop in acrylic white bathtub to bathroom only

THE DETAILS

- 3-in-1 Tastic heat lamp with light and exhaust as per plan
- White 4 star nano coated wall faced suite toilet with soft close seat where shown on plan
- Chrome double towel rail to bathroom and ensuite from builders range as per plan
- Chrome toilet holder adjacent each toilet from builders range as per plan
- Feature tile option includes running floor tile up a selected wall in the showers, as well as up and over the bath hob as per plan
- Tiling to wet area walls is floor to ceiling in showers and 1100mm to the remaining walls in bathroom and ensuite



ENSUITE AND BATHROOM INCLUSIONS



SHOWER
FIENZA KAYA TWIN
SHOWER CHROME



BATH OUTLET
IKON HALI STRAIGHT
BATH OUTLET CHROME



BATHROOM BASIN
ESSENCE ROUND
COUNTER TOP BASIN
WHITE



TOILET
FRANZ ASHFORD
RIMLESS WALL FACE
TOILET SUITE NANO



BASIN MIXER
IKON HALI HIGH RISE
BASIN MIXER CHROME



SHOWER/BATH MIXER
IKON HALI SHOWER/BATH
MIXER CHROME



BATH
DECINA BAMBINO BATH
WHITE

LAUNDRY INCLUSIONS



FIXTURES AND FINISHES

- 2 Pac gloss cabinetry to laundry to match the kitchen
- 20mm Lithostone® benchtops

SINKS & TAPWARE

- Drop in 35L or 45L stainless steel tub
- Flickmixer gooseneck tapware – chrome/satin plated



LAUNDRY SINK

EURO WASHINGTON
SQUARE UNDER COUNTER SINK



LAUNDRY SINK MIXER

AC HUSS GOOSENECK SINK
MIXER CHROME

EXTERNAL INCLUSIONS



COLORBOND® fascia, gutter & PVC painted downpipes

COLORBOND® Automatic wide panel lift lock up garage door with 2 remotes

1200mm x 2100mm Wide Entry Front Door

Brick rendered and/or cladding external walls

WINDOWS AND DOORS

(Design and facade specific)

- Hinged front entry door – 1200mm x 2100mm Hume range with frosted glass panels, painted in accordance with selected colour scheme and manufactures specification
- Hinged rear door (if depicted on plans) to be 1/3 Glass Duracote Temp Glass, painted in accordance with selected colour scheme and manufacturers specification
- Aluminium powder coated windows and doors, obscured to wet areas unless street and/or park facing
- Aluminium powder coated screen with frame and plastic fly mesh to all openable sides of sliding doors and windows

EXTERNAL CLADDING

(Design and facade specific)

- Brick rendered and/or cladding external walls with feature cladding

- Windows and doors to have fibre cement cladding and/or beading above where required unless otherwise noted on elevations
- Locks to all windows and sliding doors

ROOFING AND GARAGE

(Design and facade specific)

- Roof material COLORBOND® (from standard builders selection)
- COLORBOND® fascia, gutter & PVC painted downpipes as per plan
- COLORBOND® automatic wide panel lift lock up garage door with 2 remotes
- Soffit/eave lining 4.5mm fibre cement sheet
- 31 x 11 finger joint beading to seal eaves and wall joint

EXTERNAL INCLUSIONS



FRAME

- To be constructed in accordance with current Building Regulations, National Construction Code and Australian Standards
- Timber Frame and Trusses to be erected in accordance with current National Construction Code and Australian Standards N2/N3 wind rating unless alternative wind rating specified by structural engineer/certifier
- 2740mm ceiling height to ground level/ 2440mm to upper levels as indicated on architectural working drawings
- Building structure to meet building classification
- Termite treatment – perimeters and penetrators as per Australian Standards
- Site cut and fill where required to a maximum of 500mm (cut & fill)
- Footings and/or screw piers and slab and/or suspended floor constructed depending on site conditions to engineers specifications
- Building Services Authority Insurance (6 years 6 months' structural warranty from commencement date as per QBCC New Home Warranty)
- 12 Month maintenance period from date of handover.
- Developer Covenant Approval – minor design amendment may need to be made to the roof, external finish and colours to gain approval

PRELIMINARIES

- Council/Certifier Building approval to current Legislation Standards. Architectural Drawings may require minor modifications to gain approval.
- Council plumbing approval to current Legislation Standards
- Energy efficiency compliance to National Construction Code

EXTERNAL INCLUSIONS



ALFRESCO

(Design and facade specific)

- Under roof alfresco with exposed aggregate

LANDSCAPING

- Turf/pebble and or mulch to site where possible with a garden bed to front

DRIVEWAY

- Exposed aggregate driveway
- Exposed aggregate alfresco and front porch

FENCING

- Timber paling fencing to rear, sides and returns where no existing fence provided to site
- Fence to include 1 single gate with timber paling finish
- Pine and/or face brick rendered feature posts to porch where applicable

OTHER FINISHES

- Wall or fence mounted clothesline
- Mail box with applicable street number to match home

SPECIFICATIONS OF WORKS

PRELIMINARIES & APPROVALS

- Council/Certifier Building approval to current Legislation Standards. Architectural Drawings may require minor modifications to gain approval
- Council plumbing approval to current Legislation Standards
- Energy efficiency compliance to National Construction Code
- Building structure to meet building classification
- Termite treatment – perimeters and penetrators as per Australian Standards
- Site cut and fill where required to a maximum of 500mm (cut & fill)
- Footings and/or screw piers and slab and/or suspended floor constructed depending on site conditions to engineers specifications
- Building Services Authority Insurance (6 years 6 months' structural warranty from commencement date as per QBCC New Home Warranty)
- 12 Month maintenance period from date of handover
- Developer Covenant Approval – minor design amendment may need to be made to the roof, external finish and colours to gain approval
- Hinged front entry door – 1200mm x 2100mm Hume range with frosted glass panels, painted in accordance with selected colour scheme and manufactures specification
- Hinged rear door (if depicted on plans) to be 1/3 Glass Duracote Temp Glass, painted in accordance with selected colour scheme and manufacturers specification
- Aluminium powder coated windows and doors, obscured to wet areas unless street and/or park facing
- Aluminium powder coated screen with frame and plastic fly mesh to all openable sides of sliding doors and windows. Note design covenant requirements for estate may not permit diamond barrier screen, in this instance standard plastic fly screens to be provided (if in bushfire area screens are as per AS3959-2009)
- Brick rendered and/or cladding external walls with feature cladding painted as per architectural working drawings and client signed builders nominated colour scheme
- Windows and doors to have fibre cement cladding and/or beading above where required unless otherwise noted on elevations
- Under roof alfresco with exposed aggregate as per plan (site conditions permitting)
- All exterior colour finishes are from builders standard colour scheme as nominated

FRAME

- To be constructed in accordance with current Building Regulations, National Construction Code and Australian Standards
- Frame and Trusses to be erected in accordance with current National Construction Code and Australian Standards N2/N3 wind rating unless alternative wind rating specified by structural engineer/certifier
- 2740mm ceiling heights to ground level as indicated on architectural working drawings
- Frames to be supplied in timber

EXTERIOR FINISHES

- Roof material COLORBOND® (from standard builders selection)
- COLORBOND® fascia, gutter & PVC painted downpipes as per plan
- COLORBOND® automatic wide panel lift lock up garage door with 2 remotes

KITCHEN & APPLIANCES

- 2 Pac gloss cabinetry, soft close hinges and finger pull doors and drawers (no handles) with overhead cupboards and microwave recess as per plan
- Polished edge stone benchtops with breakfast bar
- 900mm upright stainless steel electric cooktop and oven in one
- Undermount rangehood built in to overhead cabinetry as per plan
- Stainless steel 1 ½ bowl underslung sink
- Stainless steel dishwasher
- Flickmixer gooseneck tapware – chrome/satin plated
- Single fridge water connection

SPECIFICATIONS OF WORKS

BATHROOM, TOILETS & ENSUITE

- Cabinetry – 2 Pac gloss wall hung vanity with solid soft close doors and 20mm stone benchtop
- Frameless mirror to width of vanity as per plan
- Built in and tiled bath hob with drop in acrylic white bathtub to bathroom only
- 3-in-1 Tastic heat lamp with light and exhaust as per plan
- Flickmixer tapware to shower/bath and vanity
- Shower screen – clear laminated in powder coated aluminium surround. Pivot or sliding door
- White 4 star nano coated wall faced suite toilet with soft close seat where shown on plan
- Niche to showers as depicted on plan
- Chrome double towel rail to bathroom and ensuite from builders range as per plan
- Chrome toilet holder adjacent each toilet from builders range as per plan

TILING

- Tile range, 600 x 600 polished or semi porous porcelain throughout as per plans, 600 x 600 polished or semi porous porcelain to shower and 600 x 300 rectified wall tiles and splashback as per colour scheme from builders range
- Feature tile option includes running floor tile up a selected wall in the showers, as well as up and over the bath hob as per plan
- Tiling to wet area walls is floor to ceiling in showers and 1100 to the remaining walls in bathroom and ensuite. Skirting tile to laundry and toilet as per selected colour scheme

ELECTRICAL

- Lighting – White fitted LED lights as per electrical plan
- External lighting – porch, alfresco and front of garage
- Double power points to all bedrooms and living areas & alfresco
- Ducted air conditioning
- Air-con isolator on external wall
- 1 telephone point
- TV Antenna (if not in a Smartwire – OptiComm or Telstra Velocity area)
- RCD Safety switch
- 2 TV Points

- 2 Data Points
- White ceiling fans to all bedrooms, living and alfresco
- Hot Water Heat Pump
- External power point to service hot water system
- Exhaust fan to toilet where shown on plans
- Smoke alarms to all bedrooms and applicable internal areas to conform with legislation at time of Building Approval

PAINTING

- Internal 3 coat paint system (1 coat of sealer & 2 coats of colour)
- Builders selection paint as per selected colour scheme
- Custom colour scheme if requested
- White colour finish to all ceilings and cornice
- White internal walls premium sealer & professional low sheen
- Feature paint work to front façade, as per selected colour scheme, plan and covenant requirements
- Doors – Aquanamel as per selected colour scheme
- Architraves, skirting and all doors are full- gloss as per selected colour scheme
- Soffit/eave lining – ceiling white colour finish
- Downpipes painted to match roof, fascia, gutter or wall

PLASTER

- To be supplied & installed in accordance with current Australian Standards
- 90mm cornice
- Ceilings & walls 10mm plasterboard
- Wet area walls 6mm villa board or 10mm waterproof plaster board

SPECIFICATIONS OF WORKS

INTERNAL FINISH

- Brushed silver Gainsborough/Lanes/Lockwood or equivalent door hardware with privacy to master and wet areas
- Door stops and/or clips to all swing doors
- Hume redicote flush finish pre-hung with chrome or satin hinges to internal doors
- Vinyl robe doors with brushed aluminium frame to robes in living areas, and mirrored robes to bedrooms
- Architrave 66mm x 11mm
- Skirting 66mm x 11mm
- Shelving: overhead shelf, hanging rail and set of of pidgin hole cupboards to all robes, two to master, 4 shelves to linen and walk in pantry, if a broom cupboard is provided a single overhead shelf is to be installed

OTHER FINISHES

- Nylon Carpet or equivalent to all bedrooms and/or living as per plans and builders range selected colour scheme
- Wall or fence mounted clothesline
- Mail box with applicable street number to match home
- 2 Pac base cabinet to laundry to match kitchen with 20mm stone benchtop and drop in 35L or 45L stainless steel tub
- Locks to all windows and sliding doors
- Roller blinds to all clear glazed windows and sliding doors
- Bulk ceiling and/or external wall insulation to achieve required energy rating
- Wall sarking to achieve required energy rating
- Eaves as per plan – changes may be required to comply with council or covenant requirements
- Soffit/eave lining 4.5mm fibre cement sheet
- 31 x 11 finger joint beading to seal eaves and wall joint

EXTERIOR & LANDSCAPING

- Turf/pebble and or mulch to site where possible with a garden bed to front as per covenant requirements (minimum garden beds to street front as per covenant requirements or 1 x 15m2 garden bed depending on site frontage and slope where possible) Batters to be mulched
- Exposed aggregate driveway, unless specified by developer or required to match existing driveway colour
- Exposed aggregate alfresco and front porch unless specified by developer or required to match existing driveway colour or deck depending on site conditions. Client may also request to have plain concrete to these areas if acceptable with developers' covenant guidelines
- Timber paling fencing to rear, sides and returns where no existing fence provided to site and where possible depending site conditions Fence to include 1 single gate with timber paling finish. Note covenant approval may require alternative fencing finish and requirements which are to be adhered to
- Pine and/or face brick rendered feature posts to porch where applicable





RENTAL APPRAISAL

Date: 20/01/2025

Property Address: Lot 133, South Place, Deebing Heights QLD 4306

We have assessed the rental value of this property taking into account factors that assist in leasing your property promptly. This includes comparison of similar properties, current vacancies and market trends. We have provided you with a realistic rental value to ensure that your property is let as quickly as possible for a better financial return on your investment.

The recommended rent would be as below:

4		2		2		Recommended Rent: \$ 600 - \$ 620 p/w
---	---	---	---	---	---	---

The rent achieved for this property will be influenced by the following factors:

- The time of the year in which the property is available for rent;
- How motivated the owner is to reduce the vacancy period;
- How selective the owner is regarding tenant profile;
- Lease specifics, such as term, current market and start date.

If you have any questions regarding this appraisal, please do not hesitate to contact me.

Kind Regards,

ARG PROPERTY
p 1300 739 804