

CLEARWATER

3250



STAGE 1A STODART RELEASE

Welcome to Clearwater, Colac's most coveted address.

Imagine waking up each morning to stunning views of Lake Colac right from your doorstep. Enjoy a breathtaking escape from the hustle and bustle of city life in Stage 1 at Clearwater. Situated only 3km from Colac CBD with close proximity to schools, supermarkets, restaurants and onsite parks, create your dream home by the lake in Colac today!

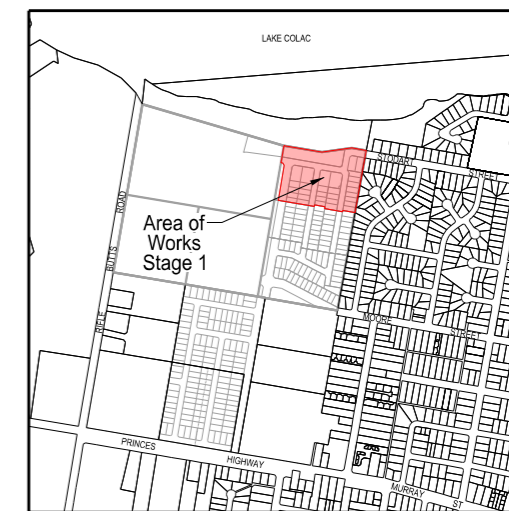


3250

STODART RELEASE

STAGE 1A





LOCALITY PLAN
SCALE 1:10,000

SHEET INDEX

SHT No.	VER	DESCRIPTION
1	P1	DETAIL PLAN, LOCALITY PLAN, SERVICES SCHEDULE & SHEET INDEX
2	P1	TYPICAL SECTIONS & PARKING PLAN
3	P1	TURNING MOVEMENTS

WARNING

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

ATTENTION TO CONTRACTOR

1. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE DIGITAL PLAN, PROVIDED FOR SETOUT PURPOSES, MATCHES THE TBM COORDINATES SHOWN.
2. Contractor to ensure that the site is pegged and or set out checked by the licenced surveyor responsible for certifying the Plan of Subdivision prior to underground infrastructure being installed.
3. Where concrete works abut a sewer access chamber surround or similar structure, an expansion joint of approved material shall be provided between the two faces

LEGEND

1 IN 5 YR
DRAINAGE SHOWN

OVERLAND FLOW PATH
1 IN 100 YR SHOWN

Location	Gas	Water		Communications		Electricity		BOK	Road Width	Joint Trenching	Street Classification
		NDW	DW	Cables	Pits	Cables	Poles				
STODART STREET (LOT129-130)	-	-	3.10 S	1.80 S		2.60 S	1.00 BOK	4.57 N 4.45 S	20.12	T & E	Street-Level
STODART STREET (NORTH - SOUTH)	-	-	3.10 E	1.80 W		2.60 W	1.00 BOK	4.05 W 4.35 E	16.00	T & E	Street-Level
STODART STREET (LOT105-116)	-	-	3.10 S	1.80 N	1.70 S	2.60 N	1.00 BOK	4.05 N 4.35 S	16.00	T & E	Street-Level
ROAD A	-	-	4.10 E	1.80 W	1.70 E	2.60 W	1.00 BOK	4.40 W 5.40 E	21.10	T & E	Street-Level
ROAD B	-	-	3.10 E	1.80 W	1.70 E	2.60 W	1.00 BOK	4.05 W 4.35 E	16.00	T & E	Street-Level
ROAD C	-	-	3.10 E	1.80 W	1.70 E	2.60 W	1.00 BOK	4.05 W 4.35 E	16.00	T & E	Street-Level



breese pitt dixon pty. ltd.
land surveyors civil engineers

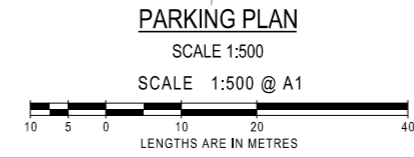
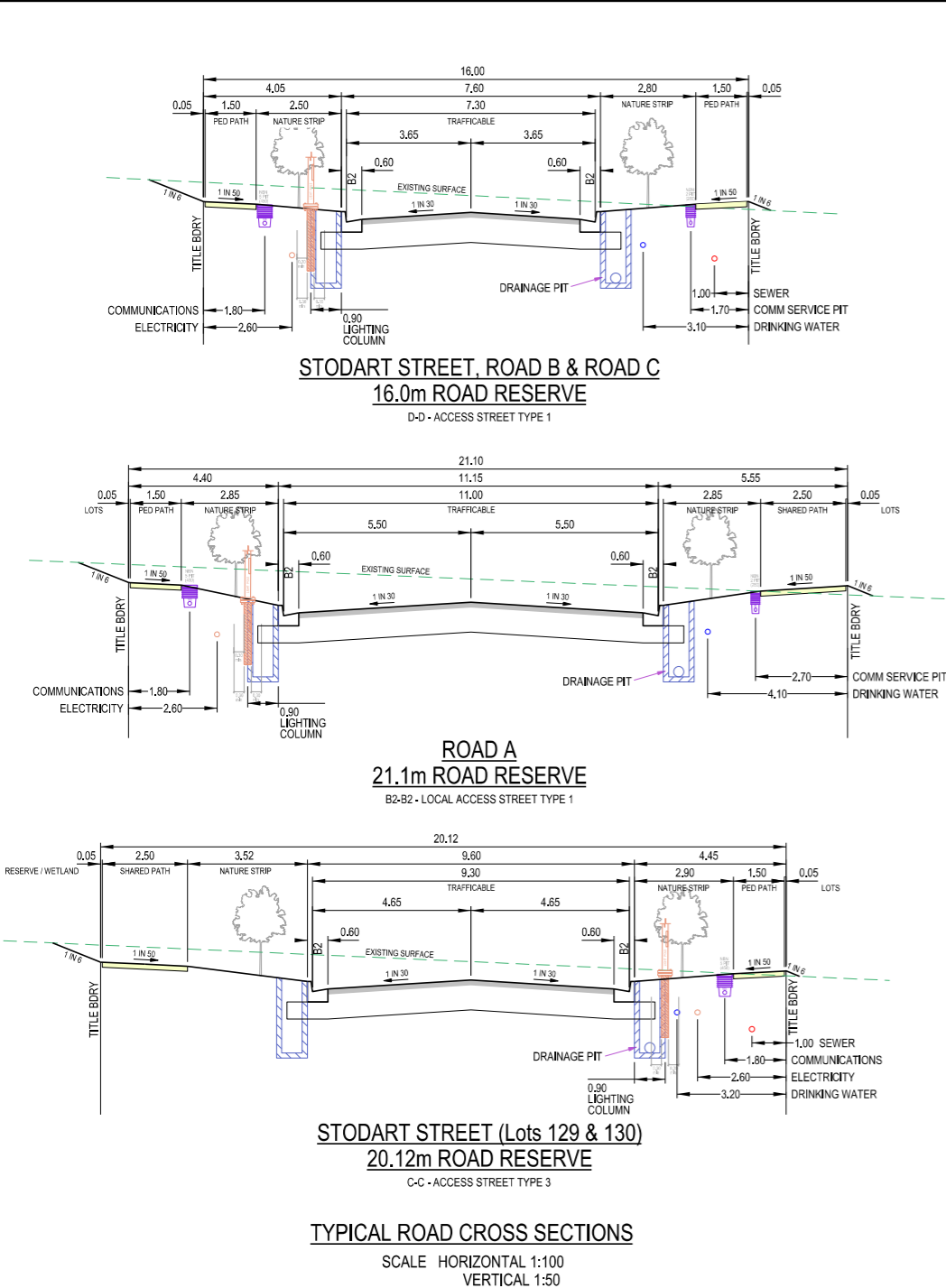
1/19 cato street
hawthorn east, 3123
telephone 8823 2300
fax no. 8823 2310

CLEAR WATER ESTATE
1-59 RIFLE BUTTS ROAD, COLAC - STAGE 1
FUNCTIONAL LAYOUT PLAN

MUNICIPALITY	GREATER GEELONG
REFERENCE	10815 ^E / ₁

SHEET 1 OF 3	P 1
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K2H10816VENCIST 11E1B501 B101 DET doc



LEGEND

CAR SPACE FOR EACH LOT SHOWN

AMENDMENTS

VER	DATE	REMARKS

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land surveyors civil engineers

MELWAY REF. - -
SURVEY BPD
DESIGN TT
DRAWN PG
CHECKED DH

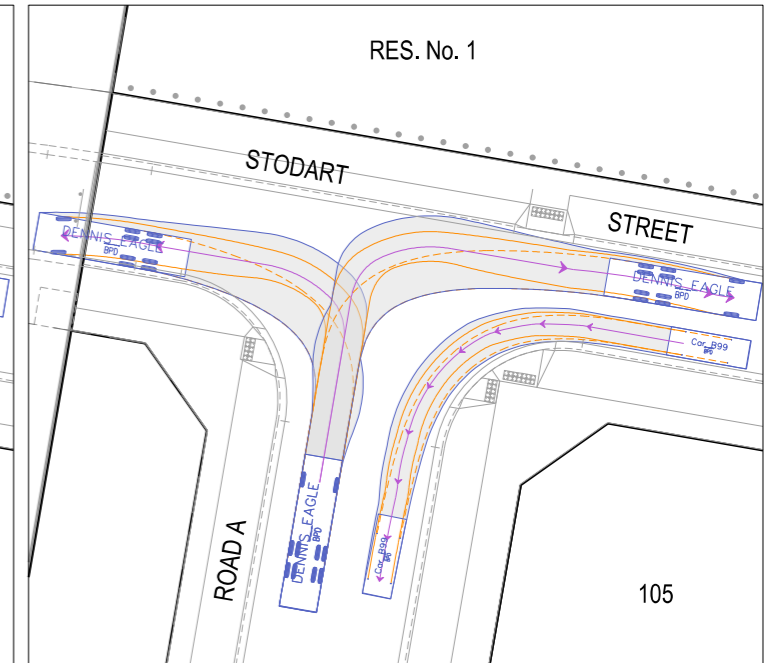
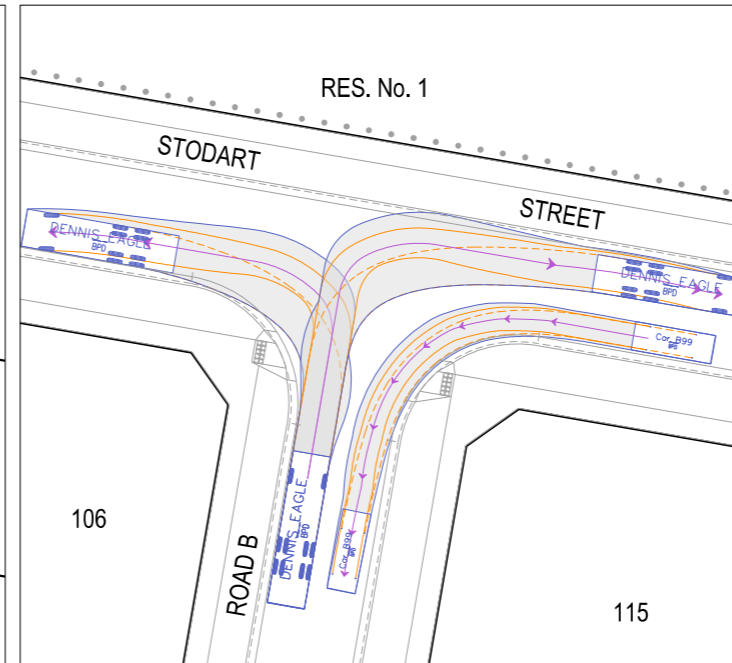
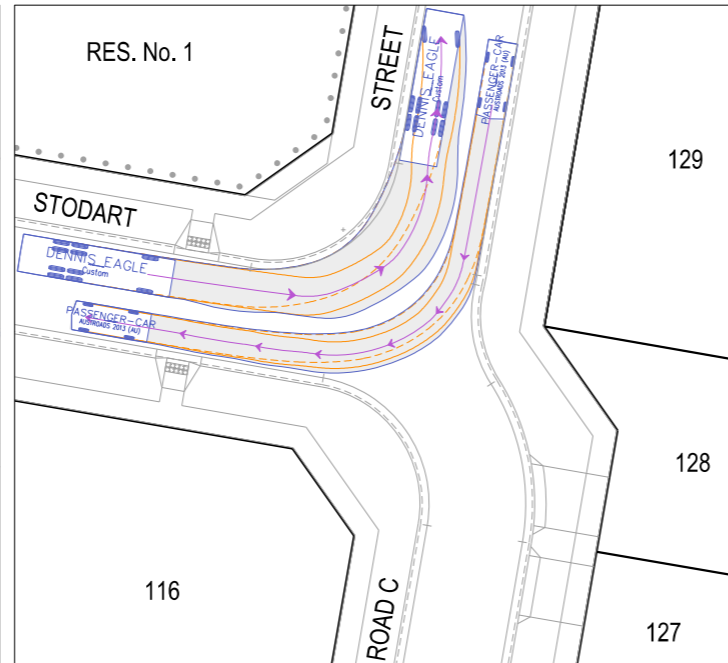
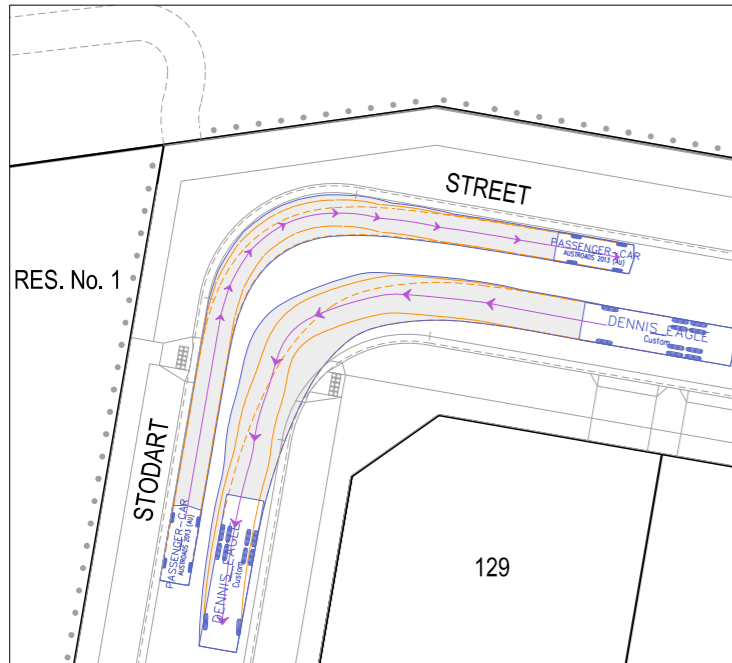
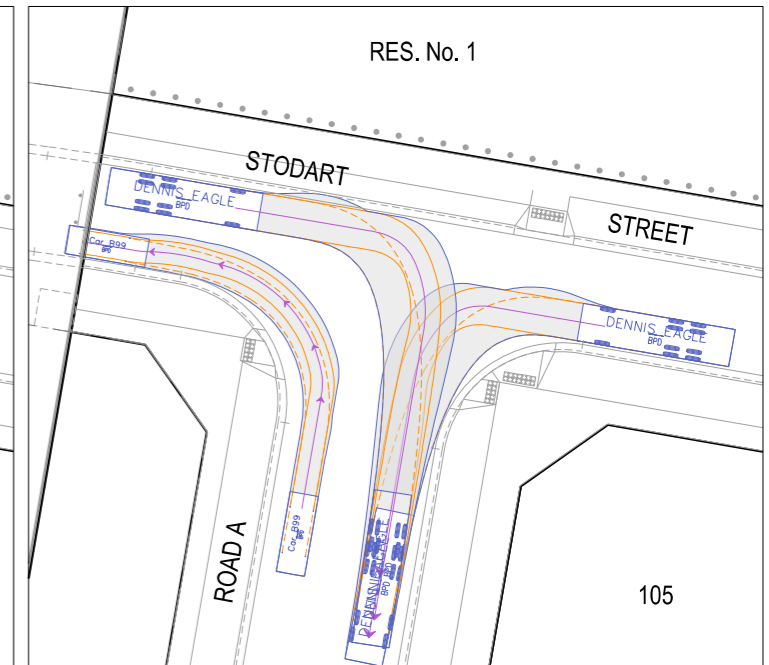
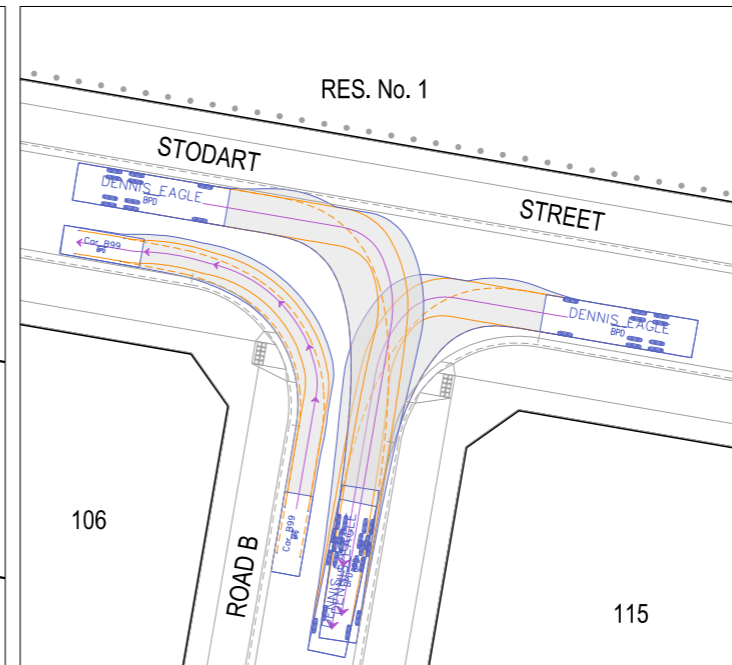
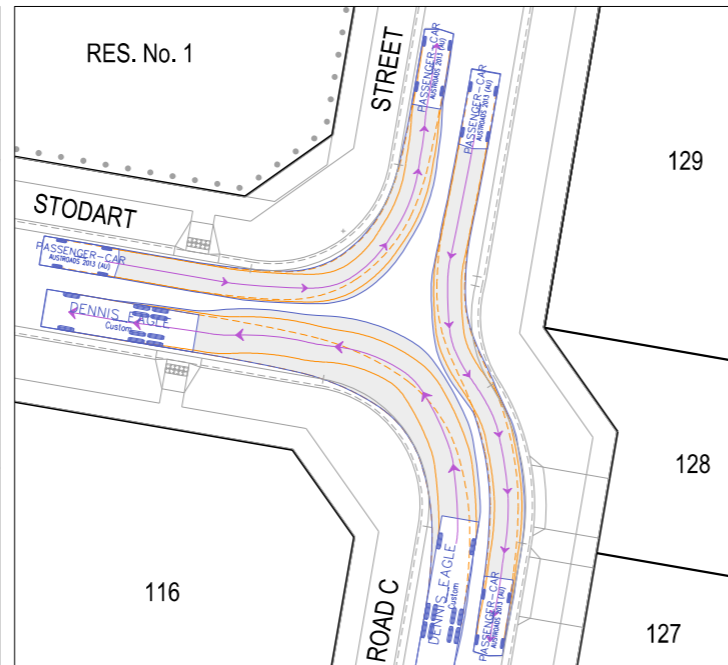
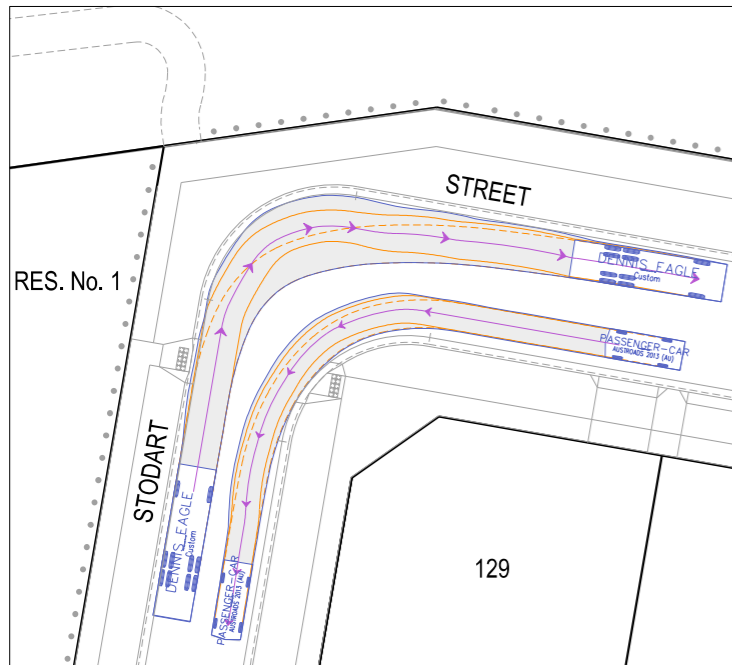
CLEAR WATER ESTATE
1-59 RIFLE BUTTS ROAD, COLAC - STAGE 1
FUNCTIONAL LAYOUT PLAN

SCALE AS SHOWN DATUM AHD DATE DEC '23


MUNICIPALITY
GREATER GEELONG
REFERENCE
10815^E/₁

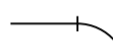
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SHEET 2 OF 3 P 1



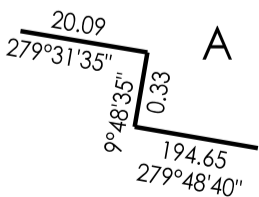
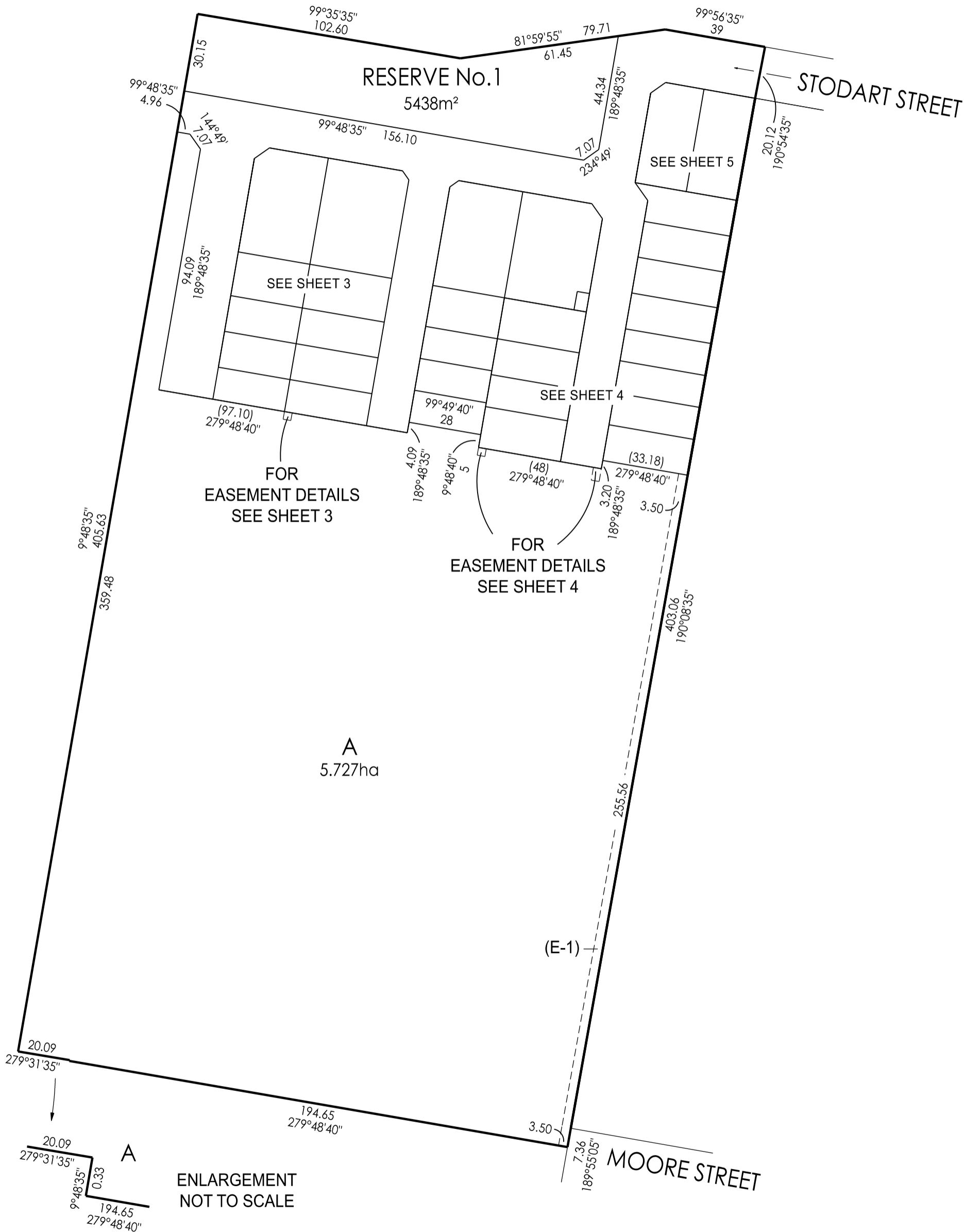
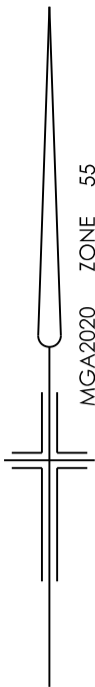
LENGTHS ARE IN METRES

AMENDMENTS					breesse pitt dixon Pty. Ltd. land surveyors civil engineers			1/19 cato street hawthorn east, 3123 telephone 8823 2300 fax no. 8823 2310					
			MELWAY REF.	- —	CLEAR WATER ESTATE 1-59 RIFLE BUTTS ROAD, COLAC - STAGE 1 FUNCTIONAL LAYOUT PLAN			MUNICIPALITY					
			SURVEY	BPD				GREATER GEELONG					
			DESIGN	TT				REFERENCE					
			DRAWN	PG				10815 ^E / ₁					
VER	DATE	REMARKS	CHECKED	DH	SCALE	AS SHOWN	DATUM	AHD	DATE	DEC '23	SHEET	3 OF 3	P 1

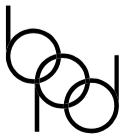
PLAN OF SUBDIVISION			LRS USE ONLY EDITION	PLAN NUMBER PS 916609Y	
LOCATION OF LAND PARISH: ELLIMINYT TOWNSHIP: ----- SECTION: 9 CROWN ALLOTMENT: 4(PT) & 5(PT) CROWN PORTION: --- TITLE REFERENCES: VOL 10228 FOL 459 LAST PLAN REFERENCE: LOTS 1& 2 ON TP 846687C POSTAL ADDRESS: (at time of subdivision) 48 STODART STREET COLAC 3250 MGA CO-ORDINATES: E: 724 395 ZONE: 55 (of approx. centre of plan) N: 5 754 355 DATUM: GDA2020			COUNCIL NAME: COLAC OTWAY SHIRE COUNCIL		
VESTING OF ROADS OR RESERVES			NOTATIONS		
IDENTIFIER		COUNCIL/BODY/PERSON		TANGENT POINTS ARE SHOWN THUS:  LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN TOTAL ROAD AREA: 9867m²	
ROAD R1 RESERVE No.1 RESERVE No.2		COLAC OTWAY SHIRE COUNCIL COLAC OTWAY SHIRE COUNCIL POWERCOR AUSTRALIA LTD			
NOTATIONS					
DEPTH LIMITATION DOES NOT APPLY					
SURVEY: THIS PLAN IS BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s). COLAC PM14 IN PROCLAIMED SURVEY AREA No. STAGING THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No.					
ESTATE: --- AREA: 3.228 ha No. OF LOTS: 30 MELWAY: 520:B:2					
EASEMENT INFORMATION					
LEGEND: A - APPURTENANT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)					
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED OR IN FAVOUR OF	
(E-1)	PIPELINE OR ANCILLARY PURPOSES	SEE PLAN	THIS PLAN - SECTION 136 WATER ACT 1989	BARWON REGION WATER CORPORATION	
(E-2)	DRAINAGE	SEE PLAN	THIS PLAN	COLAC OTWAY SHIRE COUNCIL	
(E-3)	PIPELINE OR ANCILLARY PURPOSES	SEE PLAN	THIS PLAN - SECTION 136 WATER ACT 1989	BARWON REGION WATER CORPORATION	
(E-3)	DRAINAGE	SEE PLAN	THIS PLAN	COLAC OTWAY SHIRE COUNCIL	
Breese Pitt Dixon Pty Ltd 1/19 Cato Street Hawthorn East Vic 3123 Ph: 8823 2300 Fax: 8823 2310 www.bpd.com.au info@bpd.com.au		REF: 10815/1 VERSION: 1		ORIGINAL SHEET SIZE A3	SHEET 1 OF 6 SHEETS
CHECKED		DATE: 24/11/2023		LICENSED SURVEYOR: DAMIAN SMALE	

PLAN OF SUBDIVISION

PLAN NUMBER
PS 916609Y

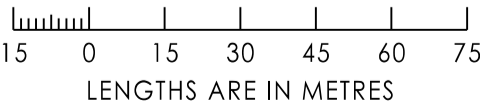


ENLARGEMENT
NOT TO SCALE



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SCALE
1:1500



LICENSED SURVEYOR: DAMIAN SMALE

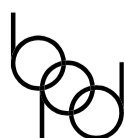
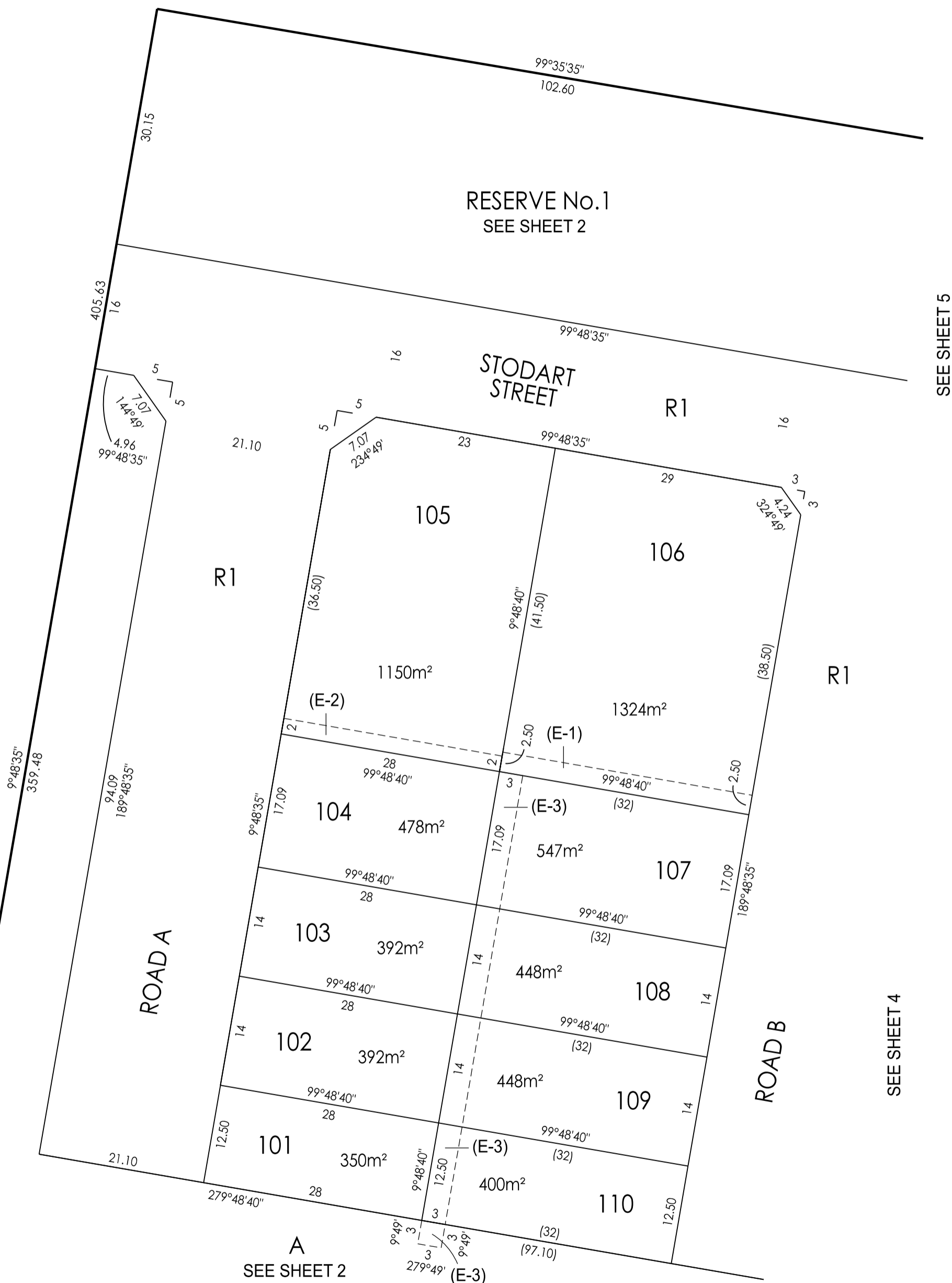
ORIGINAL
SHEET SIZE A3
REF: 10815/1

SHEET 2

VERSION: 1

PLAN NUMBER
PS 916609Y

The logo for MGA2020 ZONE 55. It features a stylized, elongated, teardrop-like shape with a pointed top and a rounded bottom. The shape is divided into two sections: a light blue upper section and a white lower section. To the left of the shape is a vertical line with a crossbar, resembling a T-junction or a stylized 'T'. To the right of the shape, the text 'MGA2020' is stacked above 'ZONE', which is stacked above '55'.



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1:500



SHEET 3

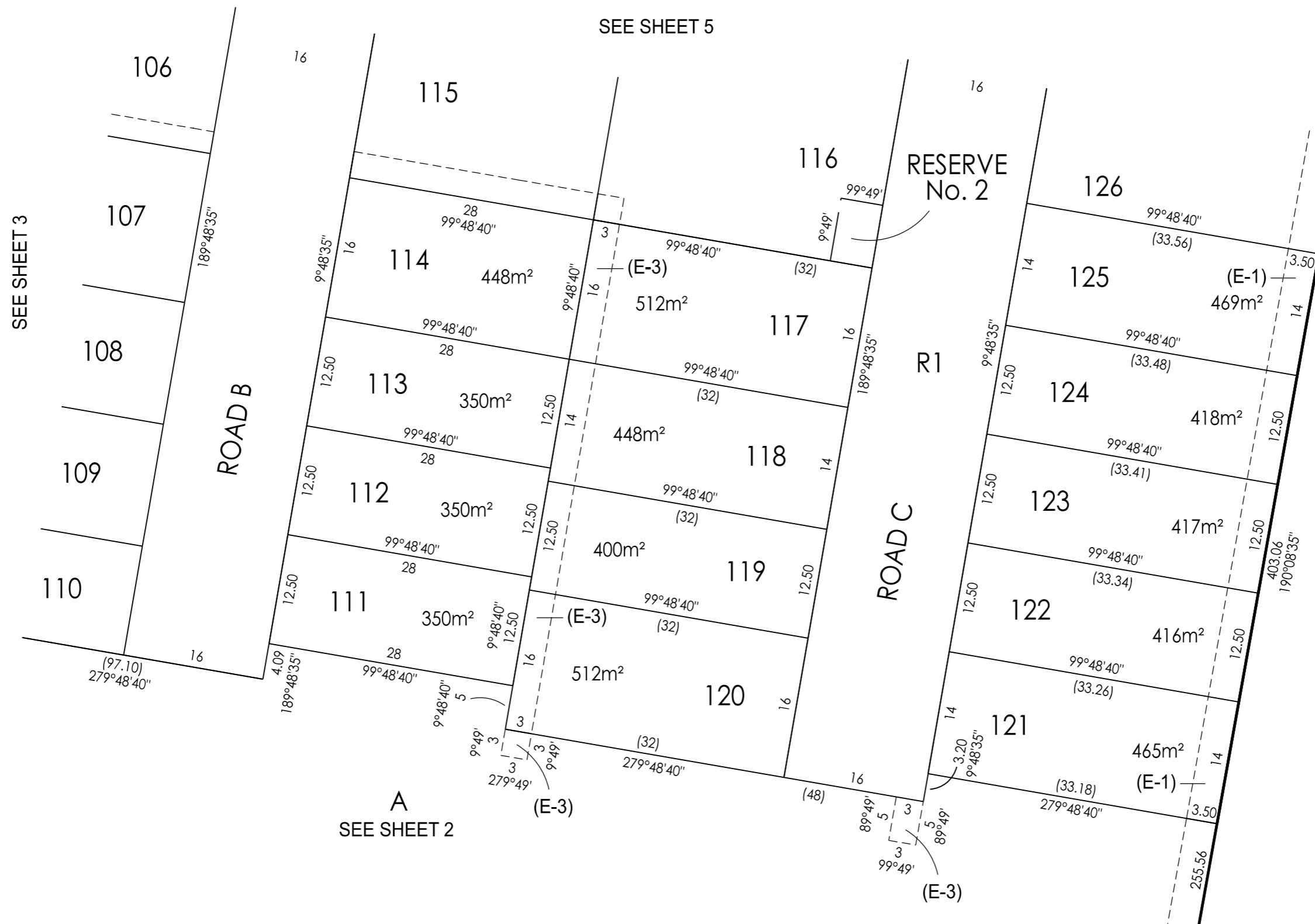
VERSION: 1

LICENSED SURVEYOR: DAMIAN SMALE

PLAN OF SUBDIVISION

PLAN NUMBER

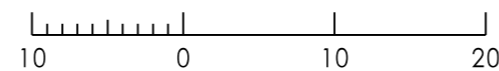
PS 916609Y



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SCALE

1:500



LENGTHS ARE IN METRES

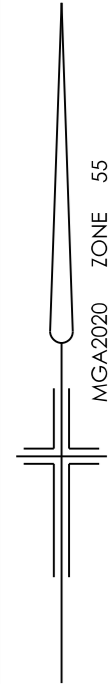
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VERSION: 1

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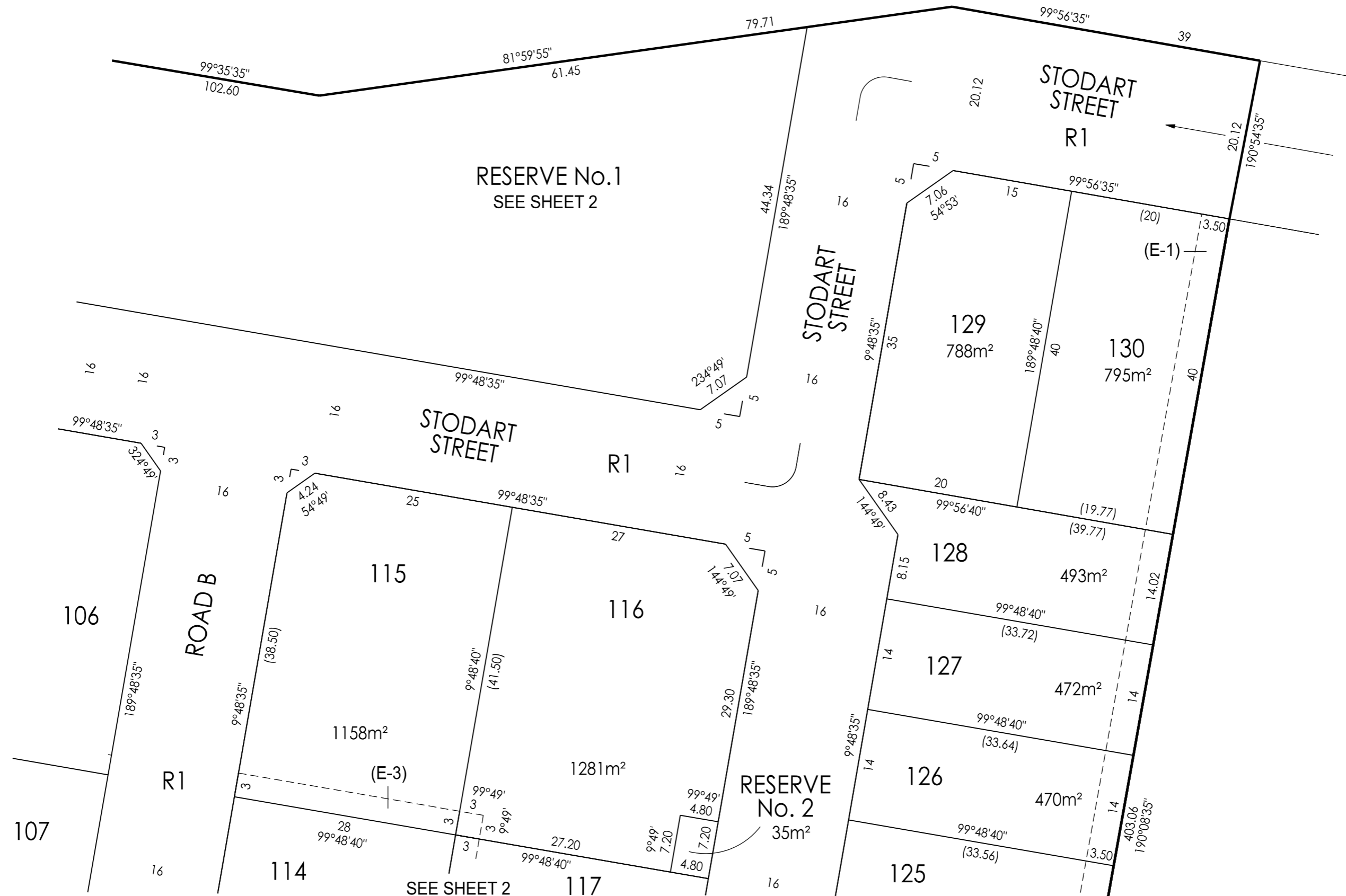
ORIGINAL
SHEET SIZE A3

SHEET 4



PLAN OF SUBDIVISION

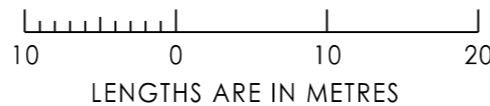
PLAN NUMBER
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SCALE

1:500



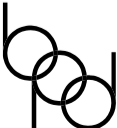
REF: 10815/1

VERSION: 1

LICENSED SURVEYOR: DAMIAN SMALE

ORIGINAL
SHEET SIZE A3

SHEET 5

		PLAN OF SUBDIVISION	PLAN NUMBER PS 916609Y	
<div>SUBDIVISION ACT 1988 CREATION OF RESTRICTION</div>				
Upon registration of the plan, the following restriction is to be created.				
For the purposes of this restriction:				
Land to benefit : Lots 101 to 130 (both inclusive).				
Land to burdened: Lots 101 to 130 (both inclusive).				
Description of Restriction :				
(1) The registered proprietors for the time being of any lot forming part of the Land to be burdened must not, without the permission of the Responsible Authority, construct or permit to be constructed;				
(a) Any dwelling unless the said dwelling incorporates dual plumbing for the use of rainwater for toilet flushing and garden watering from a minimum 2000 litre rainwater tank installed on the said lot unless prior written consent from the Responsible Authority is given. For the purpose of this restriction a dwelling does not include a stand alone garage, outbuilding or shed.				
These restrictions will cease to affect any of the burdened lots 10 years after all the burdened lots are issued with an Occupancy Certificate under the building Act 1993 or any instrument replacing it.				
<div><div>Breese Pitt Dixon Pty Ltd 1/19 Cato Street Hawthorn East Vic 3123 Ph: 8823 2300 Fax: 8823 2310 www.bpd.com.au info@bpd.com.au</div></div>		SCALE		ORIGINAL SHEET SIZE A3
		LICENSED SURVEYOR: DAMIAN SMALE		REF: 10815/1
				SHEET 6 VERSION: 1



- 1. Future Wetlands
- 2. Foreshore Wetlands
- 3. Future Foreshore Park & Playground
- 4. Future Sports Grounds
- 5. Future Moore St Park & Playground
- 6. Stodart St Playground (existing)
- 7. Colac Specialist School