



Charlemont Rise

DESIGN GUIDELINES

November 2017



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1. Introduction

1.1 Purpose

The principle aim of these Design Guidelines ("Guidelines") is to create a coherent vision for the Charlemont Rise community.

Developed to enhance the lifestyle and investment of purchasers, the Guidelines are designed to ensure all homes in Charlemont Rise are built to a high standard whilst encouraging a variety of housing styles which are in harmony with the streetscape.

The Guidelines will assist in providing you with peace of mind that your investment will be enhanced in the future, guarding against inappropriate development that may detract from the attractiveness of the development.

1.2 Operation

All proposed building works including houses, garages, outbuildings and fencing shall be approved by the DAP in relation to these Guidelines prior to seeking a Planning Permit (If required) and a Building Permit.

In considering designs, the DAP may exercise a discretion to waive or relax a requirement. The Guidelines are subject to change by the developer at anytime without notice. All decisions regarding these Guidelines are at the discretion of the DAP.

1.3 Construction of your home

Incomplete building works must not be left for more than 3 months without work being carried out and all building works must be completed within twelve months of commencement.

Sustainability and comfort

Charlemont Rise supports and encourages Environmentally Sustainable Design. Where possible orientate living area to the north to take advantage of solar heating and cooling by:

- Maximise north facing walls and glazing
- Provide reasonable shading of north facing windows
- Minimise east and west (in particular) orientated glazing
- Orientate your home to catch prevailing breezes and take advantage of cross ventilation
- Include eaves

1.4 Approval Process

1.4.1 Purchase your Land

1.4.2 Design your dwelling

In accordance with:

- a) Design guidelines and covenants
- b) Res-code
- c) Local council requirements
- d) Victorian Building Code
- e) All other relevant authority requirements

1.4.3 Submit plans for developers approval

Email to; landcharlemontrise@bigpond.com

Note; If first submission is deemed non-compliant and a request for re-submission be made by DAP, then a re-submission fee of \$ 75 will be required with second submission.

1.4.4 Receive developers approval

Any changes made to the approved design must be submitted to the DAP for re-assessment.

1.4.5 Building Permit

A Building Permit must be obtained from your Building Surveyor or Local Council

1.4.6 Begin Construction

You must comply with local council requirements along with the Design Guidelines and Covenants during all phases of construction

1.4.7 Complete Construction

Certificate of Occupancy must be obtained from the Building Surveyor prior to occupancy

1.4.8 Extensions & Outbuildings

Any proposed extensions or out buildings which were not included within the original submission to the DAP require approval & may also require relevant authority approval. It is the responsibility of the applicant to ensure the full approval process is followed.

2. Site & Orientation

2.1 Building envelopes and set backs

One dwelling only is permitted per lot. Dual Occupancy and further subdivision is not allowed.

Front setbacks for all lots that do not fall under small lot Res Code should be between 4-6m.

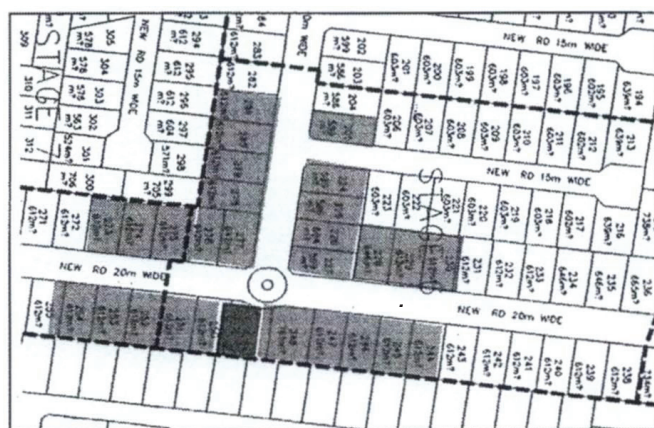
Corner lots must allow 2m side set back.

Garaged must be setback a minimum of 0.5m behind the front building boundary.

3. Built Form

3.1 Architectural Style

Houses with the same facades must be separated by a minimum of five houses in any direction as per diagram. The appearance of dwellings should provide a degree of richness and variety ensuring the creation of pleasant and interesting streetscape.



You cannot have the same façade 5 lots in either direction on either side of the street.

Kit Homes and dwellings constructed of secondhand materials are not permitted.

3.2 Materials

External walls must be constructed from at least 50% brick or rendered finish.

The front façade must contain at least two of the following contrasting materials:

- a) Brick
- b) Render
- c) Stone
- d) Weatherboards or other composite cladding material
- e) Tiles
- f) Other materials maybe permitted at the discretion of the DAP

3.3 Timing

Construction is to commence within 2 years of settlement. Once construction has begun, purchasers have 12months to complete construction (issue of certificate of occupancy).

3.4 Dwelling Size

Dwellings must comply with the following minimum sizes (excluding garages, porches, verandahs, balconies and alfresco areas):

- a) 130m² in the case of a lot having an area of 500m² or greater; or
- b) 110m² in the case of a lot having an area of less than 500m²
- c) Under 300m² refer to small lot Res code.

3.5 Two Storey Dwellings

The articulation of the front of the upper level of two-storey houses is encouraged to avoid dominating the streetscape.

3.6 Corner Allotments

The home design must address both the primary and secondary street frontages and be of a consistent architectural design.

Design elements (such as verandahs, detailing, feature windows and materials) used on the primary frontage must continue on that part of the secondary frontage that is visible from the public realm.

Blank walls to the secondary façade will not be permitted.



3.7 Roofs

All homes must include a minimum 450mm eaves to the front facade, with a minimum 1 metre return alongside elevations (excluding garage and walls on boundaries).

Dwellings on corner lots must also include eaves to both street elevations.

A variety of roof forms is encouraged. The final decision regarding roof design will be at the discretion of the DAP.

3.8 Garages

Double garages must be provided on lots with a frontage of 12.5m or greater. Lots with a frontage of less than 12.5m must provide an enclosed garage for at least one vehicle. The garage setback also applies for entry to the garage from the side street boundary, unless otherwise noted.

It is preferable for garages to be constructed under the main roof of the house. If garages are freestanding and/or visible from the street, they should match the roof form and be constructed of the same materials as the house. The garage may be constructed to the side boundary, depending on the location of adjacent buildings and garages relative to the side boundaries

Deep excavations on the boundary will not be permitted

When designing garages, consideration must be given to the screening of boats, caravans and trailers and for 'drive-through' access to the rear yard.

The garage door is a major visual element of the streetscape and doors facing the street must be paneled and of a colour which complements the house. Roller doors are not permitted to the street frontage.

Tandem garages are permitted

4. External Considerations

4.1 Access and Driveways

Driveways must be constructed of brick and/or concrete pavers, coloured concrete, saw-cut coloured concrete or exposed aggregate. Natural concrete is not permitted.

All driveways must be completed prior to occupying of the dwelling

4.2 Fences

Boundary fencing must be constructed from **capped timber palings with a plinth and exposed posts(125mm X75mm).**

Fencing must be constructed to a height of **1.8m**

Fencing to the side street of a corner lot must stop at least 2m behind the front façade and behind the corner feature.

Fencing must return from side boundaries at 90 degrees to the dwelling. Where applicable, this 'wing fencing' must be set back to allow access to meter boxes. Gates may also be included where required.

Front Fencing is permissible but must be constructed with at least 30% transparent materials (not a solid mass). Posts may extend to a maximum height of 1.2m.

You must obtain a front fence approval from the DAP prior to undertaking works

Front fencing and the boundary fencing must be constructed within 3 months from the date of the Certificate of Occupancy

4.3 Water Saving Initiatives

Recycled water is intended to be piped to Charlemont Rise.

All homes must provide for a connection to the recycled water network for use in garden taps, toilet flushing, car washing and the like at the cost of the lot to owner.

4.4 Letterboxes

Letter boxes should be designed to a high quality to match the house using similar materials and colours and must be erected prior to Certificate of Occupancy. No post & metal letterboxes would be allowed.



Above example will **not** be allowed.



Above example is suitable.

4.5 General

Air-Conditioning Units Evaporative air-conditioners must be positioned so that it is not visible from the main frontage of the dwelling where possible. They must be painted to match the colour of the roof, below profile units and installed as low as possible below the roof ridge line towards the rear of the house. Wall mounted air-conditioners must be located below the eaves line, screened from public view and suitably baffled to reduce noise.

Rainwater Tanks must not be visible from the street frontage.

No external Plumbing to a dwelling shall be visible from the street. All plumbing on double-storey houses, except down pipes, must be internal so as not to be visible from the street or neighboring properties.

Advertising Signage is not permitted on residential lots with the following exceptions:

- Only one advertising sign will be permitted on a lot that is being advertised for resale as a house and land package only.
- No signage is allowed for the resale of vacant land.

Sheds should be restricted in size and must be in harmony with the other buildings. Sheds are to have a maximum wall height of 2.4m, maximum ridge height of 3 metres and a maximum floor area of 9m². It is the responsibility of the Purchaser to ensure that the requirements relating to location, size and height

For all out buildings adhere to governing authority requirements.

All sheds are to be erected with a muted/earthy tone color bond material.

Window Furnishings Internal window furnishings which, can be viewed from the street, must be fitted within three months of occupancy. Sheets, blankets or similar materials for which window furnishing is not their primary use will not be permitted.

5. Building Covenants Checklist

Purchaser Details

Purchaser's name _____
Address _____
Phone _____
Lot number _____

Builder Details

Builder _____
Contact person _____
Builder address _____
Phone _____
House type _____
Façade type _____

5.1 Dwelling Construction Checklist

- One dwelling per lot
- External walls are a minimum of 50% brick or render
- Air conditioning units, television aerials, water tanks, satellite dishes, external plumbing are not visible from the street.
- Garage must be set back 0.5m from front building boundary
- All homes must include a minimum 450mm eaves to the front facade.
- The garage door is a sectional panel lift and of a colour that is complimentary to the external colour scheme.
- The driveway will be constructed within 30 days of the issue of occupancy permit.
- The driveway is constructed of brick and/or concrete pavers, coloured concrete, saw-cut coloured concrete, or exposed aggregate.
- NBN required
- Recycled water "purple" plumbing required.
- On corner lots, both street frontages have been addressed
- Building materials and features on the front façade have been replicated on the side aspect, forward of the side fence line
- The side street elevation has a minimum set back of 2m
- Dwellings on corner lots must also include eaves to both street elevations

- If cross-over placement needs to change, an application fee of \$100 (refundable if change can not be achieved) is payable. Depending on advancement of engineering works and the works that need to be altered, there maybe an additional charge. DAP will advise cost prior to change.

6. Approval- Office Use

A. Do the plans comply with the building covenants

B. Is the house façade different to other facades within close proximity

Approved By.....

Signed.....

Date.....

Please submit to

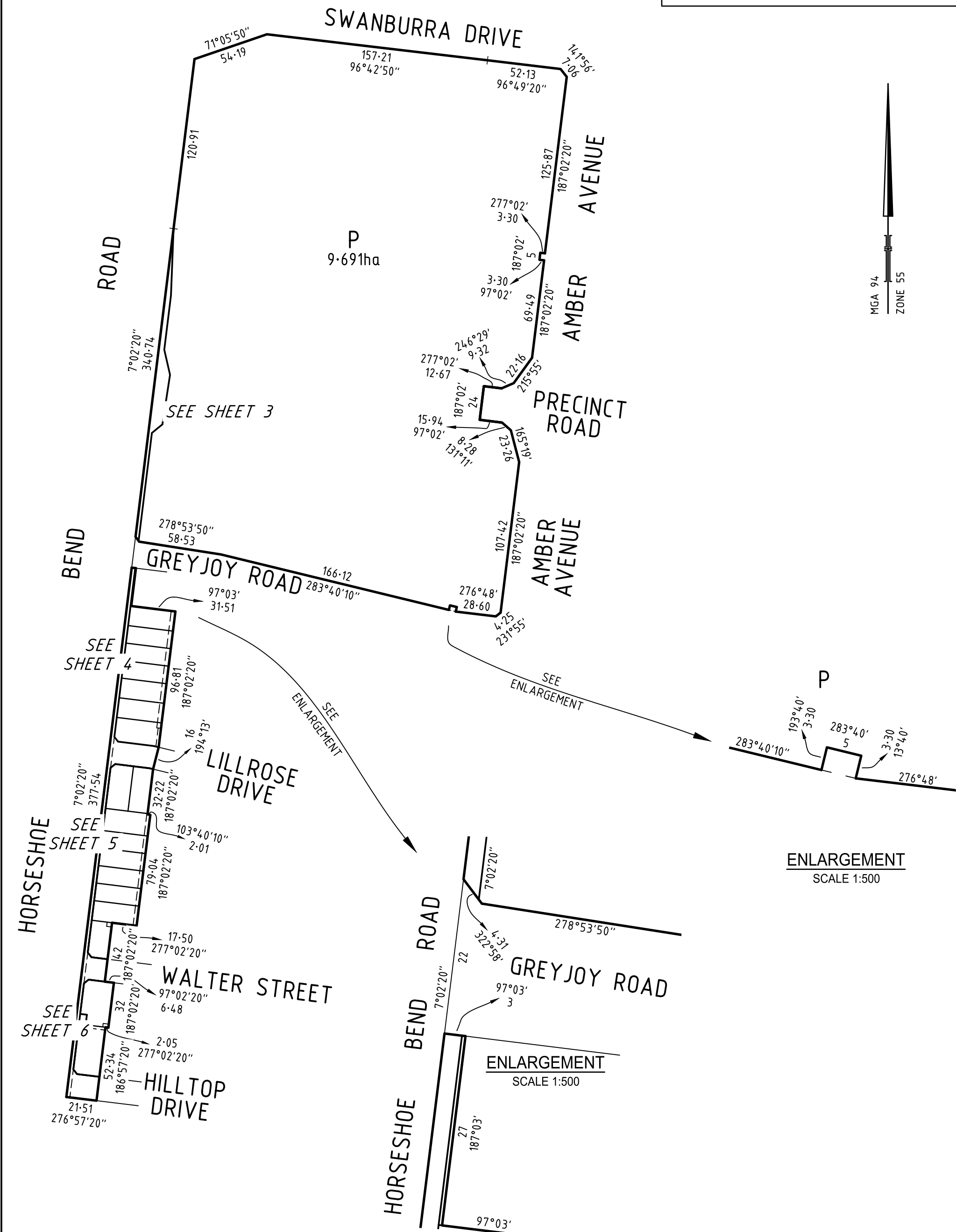
landcharlemontrise@bigpond.com

Copies required

- Site plan (1:200)
- Electrical (only if NBN requirements is not referenced on any other plan)
- Elevations (1:100)
- Floor plan/s (1:100)
- Schedule of external colours and materials

Note; If first submission is deemed non-compliant and a request for re-submission be made by DAP, then a re-submission fee of \$75 will be required with second submission.

| | | | | | | |
|--|---------------------------------|--|---|---|--------------|--|
| PLAN OF SUBDIVISION | | | EDITION 1 | | PS 836790E | |
| LOCATION OF LAND PARISH: CONEWARRE TOWNSHIP: SECTION: 4 CROWN ALLOTMENT: F (PART) & G (PART) CROWN PORTION: TITLE REFERENCE: C/T VOL 11833 FOL 165 VOL 12170 FOL 328 VOL.... FOL... LAST PLAN REFERENCE: Lot A on PS 736115D Lot H on PS 805365V Lot M on PS 824636H POSTAL ADDRESS: HORSESHOE BEND ROAD (at time of subdivision) CHARLEMONT 3217 MGA94 CO-ORDINATES: E: 268 700 ZONE: 55 (of approx centre of land in plan) N: 5 767 050 | | | | | | |
| VESTING OF ROADS AND/OR RESERVES | | | NOTATIONS | | | |
| IDENTIFIER | | COUNCIL / BODY / PERSON | | Lots A to O and 1 to 1500 (all inclusive) have been omitted from this plan. <u>Other Purpose of this Plan</u> To remove Easement E-1 shown on PS717142H that lies within Horseshoe Bend Road on this plan. To remove that part of Easement E-6 shown on PS805365V that lies within Lillrose Drive & Horseshoe Bend Road on this plan. To remove that part of Easement E-10 shown on PS824636H that lies within Walter Street & Hilltop Drive & Horseshoe Bend Road on this plan. <u>Grounds for Removal</u> By agreement of the relevant authority under the powers of section 6 (1)(k)(iii) of the Subdivision Act 1988. | | |
| ROAD R1 Reserve No 1 Reserve No.2 | | City of Greater Geelong Barwon Region Water Corporation Powercor Australia Limited | | | | |
| NOTATIONS | | | | | | |
| DEPTH LIMITATION : DOES NOT APPLY | | | | | | |
| SURVEY: This plan is based on survey STAGING: This is not a staged subdivision Planning Permit No. 1072/2014 This survey has been connected to permanent marks No(s). 45, 109, 209, 222 In Proclaimed Survey Area No. | | | | | | |
| EASEMENT INFORMATION | | | | | | |
| LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road) | | | | | | |
| | | | | | | |
| Easement Reference | Purpose | Width (Metres) | Origin | Land Benefited / In Favour of | | |
| E-1 | Drainage | See Diagram | PS 805365V | City of Greater Geelong | | |
| E-1 & E-2 | Pipelines or Ancillary Purposes | See Diagram | PS 805365V Section 136 of the Water Act 1989 | Barwon Region Water Corporation | | |
| E-3 & E-4 | Drainage | See Diagram | PS 824636H | City of Greater Geelong | | |
| E-4 & E-5 | Pipelines or Ancillary Purposes | See Diagram | PS 824636H Section 136 of the Water Act 1989 | Barwon Region Water Corporation | | |
| CHARLEMONT RISE ESTATE - STAGE 15 (18 LOTS) | | | AREA OF STAGE - 1.126ha | | | |
|  <div>10 Moorabool Street PO Box 4032 Geelong Vic 3220 T 61 3 5249 6888 spiire.com.au</div> | | SURVEYORS FILE REF: 308500SV00 | | ORIGINAL SHEET SIZE: A3 | SHEET 1 OF 7 | |
| | | Licensed Surveyor: Michael Meehan Version: 3 | | | | |



ENLARGEMENT
SCALE 1:500

ENLARGEMENT
SCALE 1:500

SURVEYOR'S FILE REF: 308500SV00

SCALE 1: 2500
25 0 25 50 75 100
LENGTHS ARE IN METRES

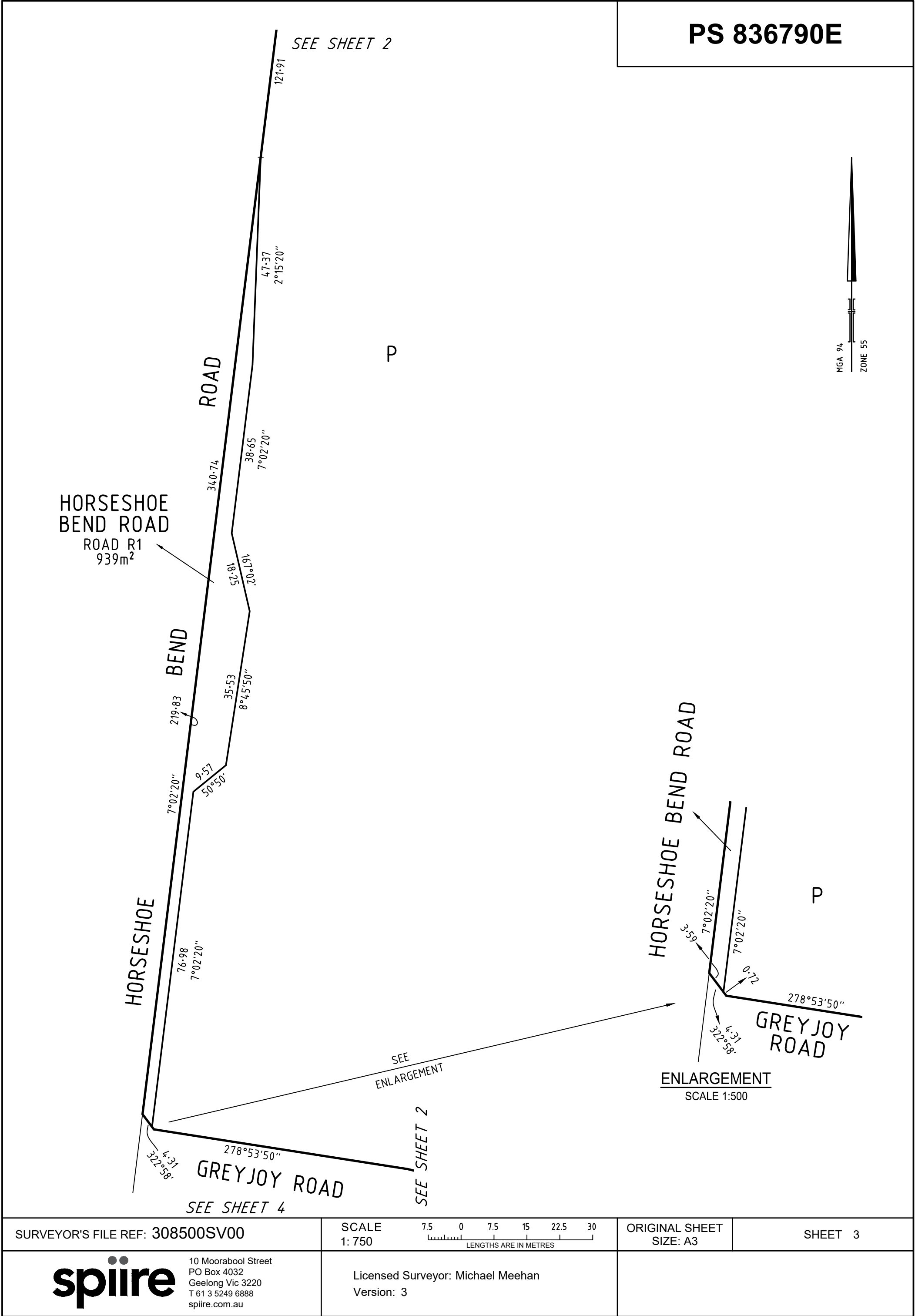
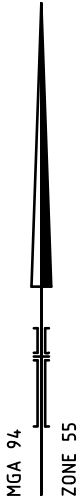
ORIGINAL SHEET
SIZE: A3

SHEET 2



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Version: 3



SURVEYOR'S FILE REF: 308500SV00

SCALE 1: 750

7.5 0 7.5 15 22.5 30

LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 3



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PS 836790E

SHEET 2
GREYJOY
ROAD

SHEET 2

ENLARGEMENT
SCALE 1:250

SEE
ENLARGEMENT

Reserve
No.1
13.4m²

HORSESHOE BEND ROAD
7°02'20"
HORSESHOE 377.55

1518

HORSESHOE
BEND ROAD
ROAD R1
944m²

LILLROSE
DRIVE

ROAD R
505m²

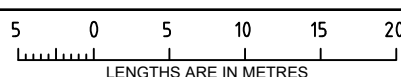
LILLROSE
DRIVE

HORSESHOE

SEE SHEET 5

SURVEYOR'S FILE REF: 308500SV00

SCALE
1: 500



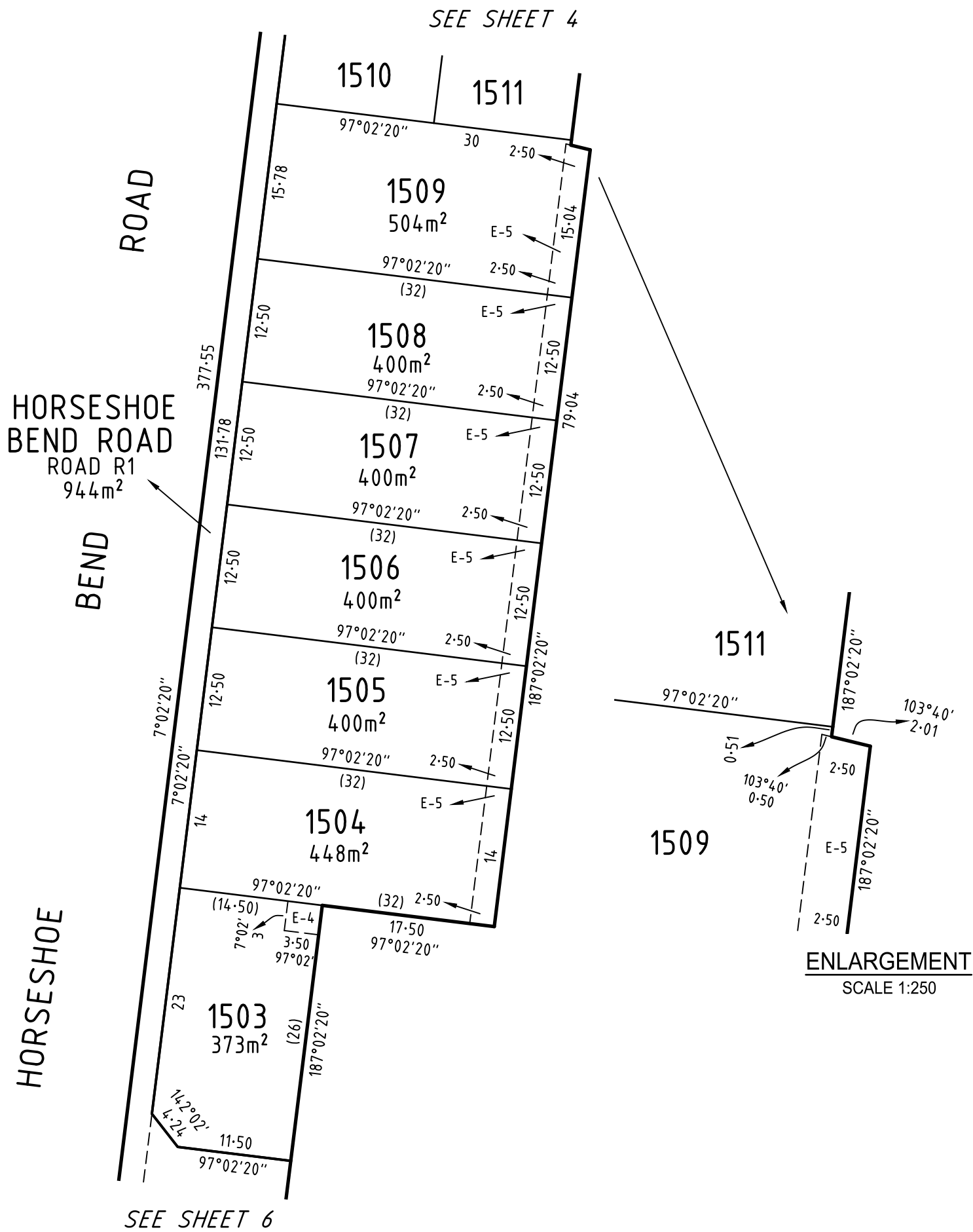
ORIGINAL SHEET
SIZE: A3

SHEET 4

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Version: 3



SURVEYOR'S FILE REF: 308500SV00

SCALE 1: 500

5 0 5 10 15 20

LENGTHS ARE IN METRES

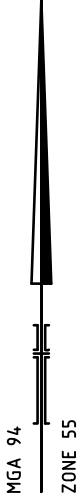
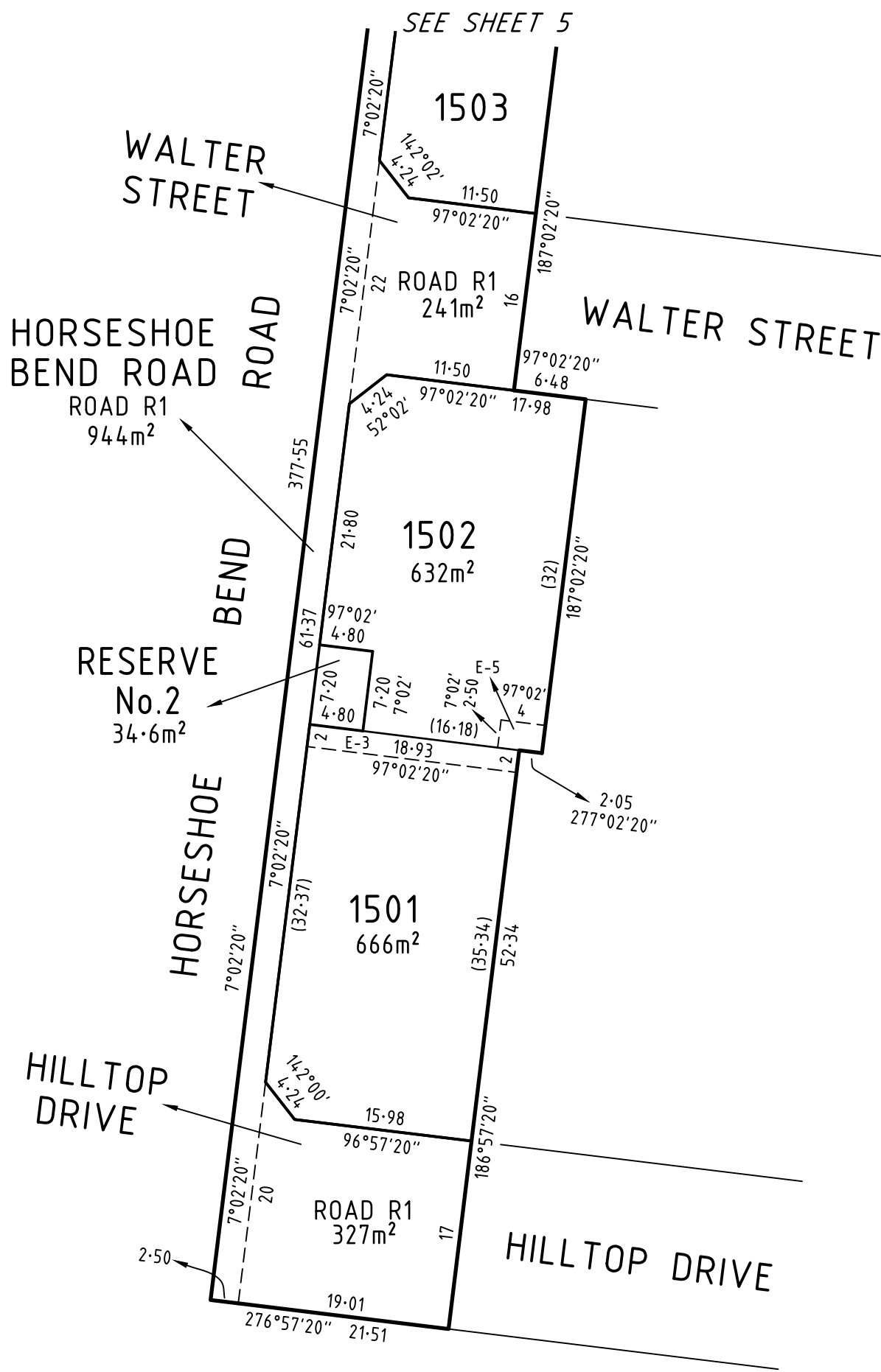
ORIGINAL SHEET
SIZE: A3

SHEET 5

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Licensed Surveyor: Michael Meehan
Version: 3



Creation of Restriction No 1

The following Restriction is to be created upon registration of this plan:

Land to Benefit: Lots 1501 to 1518(all inclusive) on this plan.

Land to be Burdened: Lots 1501to 1518 (all inclusive) on this plan.

Description of Restriction:

The registered proprietor or proprietors for the time being of the burdened lots must not:

1. Construct or allow to be constructed any improvements on any lot:
- 1.1

that is not in accordance with Charlemont Rise Design Guidelines unless otherwise approved by the Charlemont Rise Design Assessment Panel, P.O. Box 1184 Grovedale Victoria 3216, a copy of which guidelines can be obtained from the Charlemont Rise Design Assessment Panel; and
- 1.2

without obtaining written approval of the design for that improvement from the Charlemont Rise Design Assessment Panel, which approval must be obtained even if the design for that lot improvement complies with the Charlemont Rise Design Guidelines.

Expiry Date:

1 January 2035

Creation of Restriction No 2

The following Restriction is to be created upon Registration of this Plan:

Land to Benefit: Lots 1501 to 1518 (all inclusive) on this plan.

Land to be Burdened: Lots 1501 to 1518 (all inclusive) on this plan.

Description of Restriction:

The registered proprietor or proprietors for the time being of the burdened lot must not :

1. Build or permit to be built any building(s) that does not provide 1.0 metre clear horizontal access along the full length of a minimum one side boundary of the lot.

GENERAL NOTES:

1. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM AND ALL COORDINATES ARE TO MAP GRID OF AUSTRALIA (MGA) 94, ZONE 55.
2. ALL EXISTING SURFACE LEVELS SHOWN ON THE ENGINEERING DRAWINGS HAVE BEEN INTERPOLATED FROM A DIGITAL TERRAIN MODEL. THESE LEVELS HAVE BEEN USED AS THE BASIS FOR ALL ENGINEERING DESIGN AND DETERMINATION OF QUANTITIES AND ARE ACCURATE TO WITHIN $\pm 0.05\text{m}$.
3. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS2124-1992 GENERAL CONDITIONS OF CONTRACT, THE ROAD & DRAINAGE SPECIFICATION, APPROVED MUNICIPALITY SPECIFICATIONS AND STANDARD DRAWINGS AND TO THE SATISFACTION OF THE SUPERINTENDENT AND THE MUNICIPAL ENGINEER OR HIS REPRESENTATIVE.
4. ROAD CHAINAGES REFER TO ROAD CENTRELINES. CHAINAGES FOR INTERSECTIONS AND CUL-DE-SACS REFER TO THE LIP OF KERB

5. THE LOCATION OF EXISTING SERVICES SHOULD BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCING ANY EXCAVATION BY CONTACTING ALL LOCAL SERVICE AUTHORITIES. ANY EXISTING SERVICES SHOWN ON THESE DRAWINGS ARE OFFERED AS A GUIDE ONLY AND ARE NOT GUARANTEED AS CORRECT.
6. WHERE REQUIRED ANY BUILDINGS, TROUGHS, FENCES AND OTHER STRUCTURES ON SITE ARE TO BE REMOVED AS DIRECTED BY THE ENGINEER. THE COST OF REMOVAL IS TO BE INCLUDED IN THE OVERALL EARTHWORKS FIGURE UNLESS A SPECIFIC ITEM FOR REMOVAL IS DENOTED IN THE SCHEDULE.
7. ALL EXCAVATED ROCK AND SURPLUS SPOIL TO BE REMOVED AND DISPOSED OFF SITE UNLESS NOTED OTHERWISE.
8. ALL FILLING ON LOTS AND WITHIN ROAD RESERVES GREATER THAN 200mm IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPLACED WITH TOPSOIL (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS.
9. FILLING MATERIAL IS TO BE IN ACCORDANCE WITH THE SPECIFICATION, AS 3798-2007 & TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT.
10. ALL BATTERS SHALL BE 1 IN 6, UNLESS OTHERWISE SHOWN.
11. NO FILL OR STOCKPILING OF MATERIAL IS TO BE PLACED ON ANY RESERVE FOR PUBLIC OPEN SPACE UNLESS OTHERWISE DIRECTED OR APPROVED BY THE SUPERINTENDENT.
12. TBM'S TO BE RE-ESTABLISHED BY THE LICENSED SURVEYOR IF FOUND TO BE MISSING AT THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF T.B.M.'S THEREAFTER.
13. AT LEAST 3 DAYS PRIOR TO COMMENCING WORK ON EXCAVATIONS IN EXCESS OF 150mm DEEP, A NOTIFICATION FORM MUST BE SENT TO WORKSAFE. THE CONTRACTOR IS TO COMPLY WITH WORKSAFE, THE MINES (TRENCHES) REGULATION 1982, THE MINES ACT 1958 AND OCCUPATIONAL HEALTH AND SAFETY ACT 1985, 2004.
14. ALL SERVICE TRENCHES UNDER DRIVEWAYS, FOOTPATHS AND PARKING BAYS TO BE BACKFILLED WITH CLASS 2 CRUSHED ROCK. SERVICE TRENCHES LESS THAN 750mm BEHIND KERB AND CHANNEL OR PAVED TRAFFIC AREAS ARE ALSO TO BE BACKFILLED WITH COMPACTED CLASS 2 CRUSHED ROCK.
15. WHERE REQUIRED, ALL EXISTING DAMS, DEPRESSIONS AND DRAINS ARE TO BE BREACHED, DRAINED, DESLUGGED AND SHALL BE EXCAVATED TO A CLEAN FIRM BASE. THE SURFACE SHALL BE INSPECTED, APPROVED AND LEVELED BY THE ENGINEER PRIOR TO COMMENCEMENT OF FILLING. THE FILL SHALL BE APPROVED SELECTED ON SITE MATERIAL OR APPROVED IMPORTED MATERIAL. THE FILL SHALL BE PLACED UNDER CONTROLLED MOISTURE CONDITIONS IN ACCORDANCE WITH THE SPECIFICATION

17. GAS AND WATER CONDUITS ARE TO BE ,
Ø50mm . CLASS 12 P.V.C. - SINGLE SERVICE
Ø100mm . CLASS 12 P.V.C. - DUAL SERVICE (DRINKING AND NON DRINKING WATER)

WITH THE FOLLOWING MINIMUM COVER TO FINISHED SURFACE LEVELS:

| | |
|------------------|---------|
| ROAD PAVEMENT | - 0.80m |
| VERGE, FOOTPATHS | - 0.45m |

18. ALL SERVICE CONDUIT TRENCHES UNDER ROAD PAVEMENTS TO BE BACKFILLED IN ACCORDANCE WITH RELEVANT MUNICIPALITY OR ROAD AUTHORITY SPECIFICATION.
19. WATER TAPPINGS TO BE LOCATED IN CENTRE OF ALLOTMENTS UNLESS OTHERWISE SHOWN.
20. TELSTRA ARE TO BE NOTIFIED 7 DAYS PRIOR TO PLACEMENT OF CONCRETE WORKS

21. AG/SUBSOIL DRAIN TO BE LAID BEHIND KERB WHERE REQUIRED IN ACCORDANCE WITH THE COUNCIL STANDARD DRAWINGS AND CONNECTED TO UNDERGROUND DRAINAGE.
22. ALL STORMWATER DRAINS ARE TO BE CLASS '2' R.C. PIPES UNLESS OTHERWISE SHOWN. ALL R.C. JOINTS ARE TO BE RUBBER RING JOINTED (R.R.J.).

23. CENTRINES/ALL EASEMENT DRAINS ARE OFFSET 1.0m OR 2.2m (WHERE OUTSIDE OF SEWER) FROM THE PROPERTY LINE UNLESS SHOWN OTHERWISE.
24. WHERE CURVED PIPES ARE SHOWN ON THE FACE PLANS THEY ARE TO BE LAID PARALLEL TO THE BACK OF KERB, EXCEPT WHERE A RADIUS HAS BEEN SPECIFICALLY NOMINATED. CURVED PIPES ARE TO BE APPROVED BY COUNCIL AND IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
25. ALL EXPOSED GROUND SURFACE AREAS ARE TO BE HYDRO-MULCHED AT COMPLETION OF WORKS.

26. PAVEMENT DEPTHS MAY BE MODIFIED AS DIRECTED BY THE SUPERINTENDENT. PAVEMENT TO BE BOXED OUT TO MINIMUM DEPTH DENOTED, INSPECTED AND IF SUBGRADE IS IN QUESTION, FURTHER TESTING CARRIED OUT TO DETERMINE FINAL PAVEMENT DEPTH.
27. WHERE PAVEMENT IS CONSTRUCTED ON FILLING, FILL MATERIAL IS TO BE APPROVED BY THE SUPERINTENDENT AND COUNCIL. FILLING TO BE CONSTRUCTED IN LAYERS 150mm THICK WITH COMPACTION ACHIEVING 95% AUSTRALIAN STANDARD DENSITY.

28. WHEN PAVEMENT EXCAVATION IS IN ROCK ALL LOOSE MATERIAL (INCLUDING ROCKS AND CLAY) MUST BE REMOVED. THE SUB-GRADE MUST THEN BE REGULATED WITH COUNCIL APPROVED MATERIAL.

29. LINEMARKING AND SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH AS 1742 SERIES UNLESS NOTED OTHERWISE. STREET SIGNS ARE TO BE INSTALLED IN ACCORDANCE WITH COUNCIL STANDARDS.

30. ALL TEMPORARY WARNING SIGNS USED DURING CONSTRUCTION SHALL BE SUPPLIED AND MAINTAINED IN ACCORDANCE WITH AS 1742-3.

ENVIRONMENTAL

32. CONTRACTOR TO PROVIDE AN ENVIRONMENTAL MANAGEMENT PLAN INCLUDING SILT AND SEDIMENT RUNOFF PROTECTION ETC. PRIOR TO THE COMMENCEMENT OF WORKS.

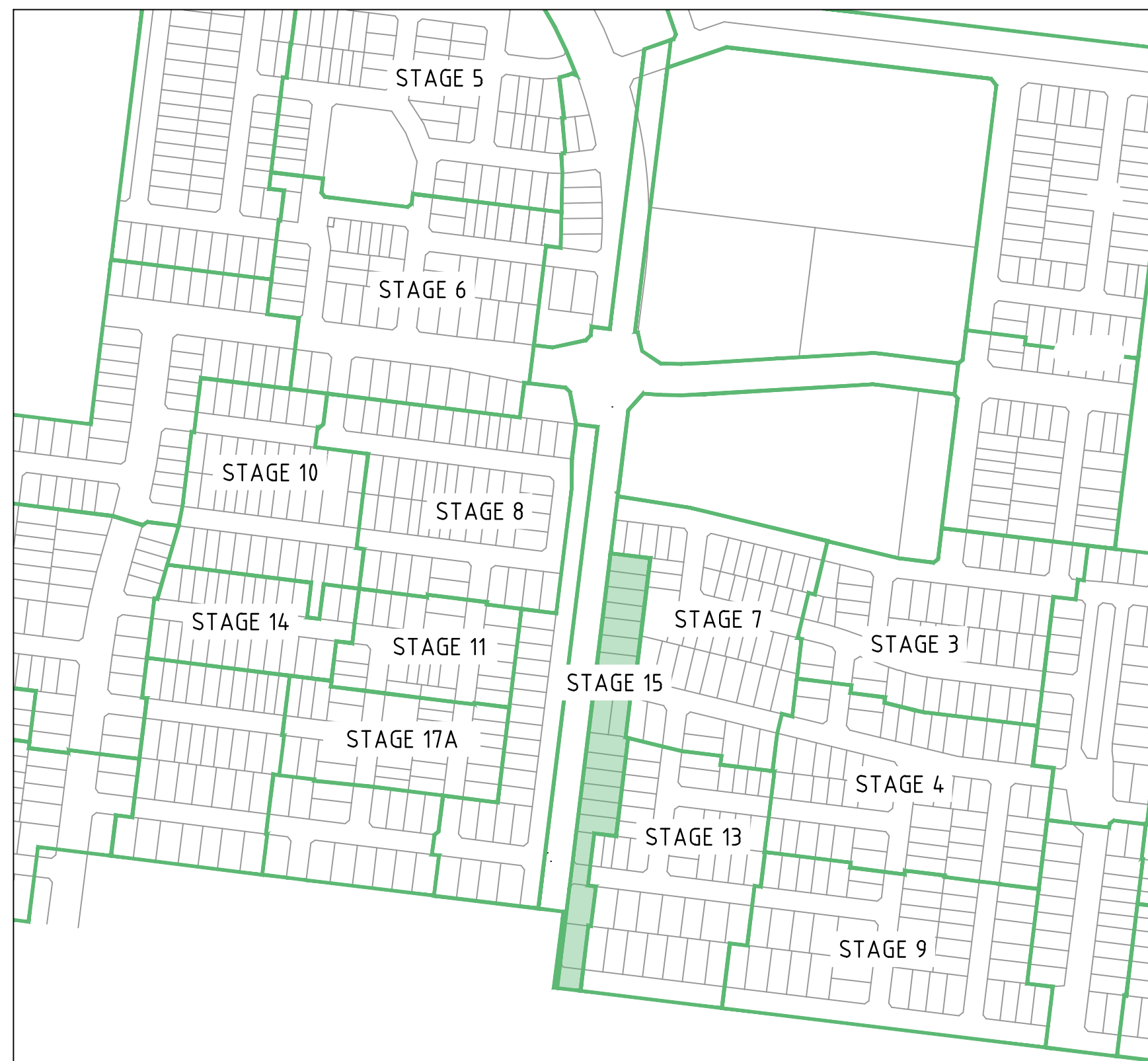
33. ALL TREES AND SHRUBS ARE TO BE RETAINED UNLESS OTHERWISE SHOWN. IF ROAD AND DRAINAGE CONSTRUCTION NECESSITATES THEIR REMOVAL, WRITTEN PERMISSION MUST BE OBTAINED FROM THE SUPERINTENDENT.

35. ALL EXPOSED GROUND SURFACE AREAS ARE TO BE HYDRO-MULCHED AT COMPLETION OF WORKS

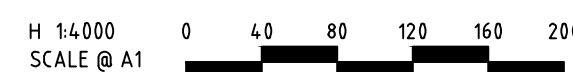


WARNING

BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.



LOCALITY PLAN



DRAWING SCHEDULE

| DRAWING | DESCRIPTION | SHEET No. | REVISION |
|---------|-----------------------------|-----------|----------|
| CR100 | GENERAL NOTES - SHEET 1 | 1 | - |
| CR200 | ROAD LAYOUT PLANS - SHEET 1 | 2 | - |
| CR900 | MISCELLANEOUS - SHEET 1 | 3 | - |

| LEGEND | EXISTING | PROPOSED |
|--------------------------------------|----------|----------|
| WATER MAIN, VALVE AND HYDRANT | | |
| WATER RECYCLED | | |
| UNDERGROUND ELECTRICITY | | |
| OVERHEAD ELECTRICITY & POLE | | |
| TELECOMMUNICATIONS & SERVICE PIT | | |
| OPTIC FIBRE | | |
| GAS MAIN | | |
| SEWER & MAINTENANCE STRUCTURE | | |
| CENTRAL INVERT | | |
| COUNCIL STORMWATER DRAIN AND PIT | | |
| STORM WATER DRAINAGE PROPERTY INLETS | | |
| COUNCIL STORM WATER PITS | | |
| HOUSE DRAIN | | |
| AG DRAIN AND FLUSHER | | |
| STORM WATER DRAINAGE PIT NUMBER | | |
| GAS & WATER CONDUITS | | |
| CONCRETE VEHICLE CROSSING | | |
| SURFACE CONTOUR MINOR | | |
| SURFACE CONTOUR MAJOR | | |
| SURFACE LEVEL | | |
| BATTER LEVEL (TOP / TOE) | | |
| EARTHWORKS GRADE | | |
| SIGN AND POST | | |
| LIGHT & POLE (BY OTHERS) | | |
| STREET SIGN | | |
| PERMANENT SURVEY MARK | | |
| TEMPORARY BENCH MARK | | |
| LOT CHAINAGES | | |
| SETOUT POINT | | |
| LIMIT OF WORKS | | |
| BATTER | | |
| EXCAVATION GREATER THAN 0.20m | | |
| FILLING GREATER THAN 0.20m | | |
| VEGETATION LINE | | |
| FOOTPATH | | |

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| Rev | Amendments | Approved | Date |

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10 MOORABOOL STREET GEELONG
VICTORIA 3220 AUSTRALIA T 61 3 5249 6888
spiire.com.au ABN 55 050 029 635



Designed

Checked

Authorised

Date _____

**CHARLEMONT RISE
STAGE 15
ROAD AND DRAINAGE
GENERAL NOTES
CITY OF GREATER GEELONG
CHARLEMONT RISE PTY LTD**

PRELIMINARY Drg No **308500CR100**

Drg No

Re



MGA 94
ZONE 55



EXISTING PIT TO BE REMOVED DURING
HORSESHOE BEND ROAD CONSTRUCTION

VEGETATION TO BE REMOVED DURING
HSB RD CONSTRUCTION

HORSESHOE BEND ROAD

1502

REFER TO KIOSK DETAIL
1 IN 100

GREY JOY ROAD

SWD LOT CONNECTION TO BE
INSTALLED FOR LOT 1515
DURING HSB RD

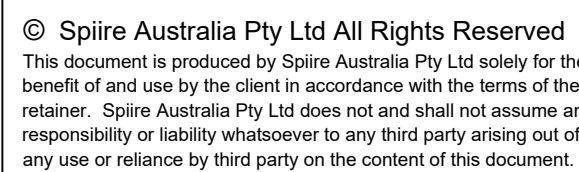
726

EXTRA SWD LOT CONNECTION TO BE
REMOVED DURING HSB RD CONSTRUCTION

Scale

H 1500
SCALE @ A1

0 5 10 15 20 25

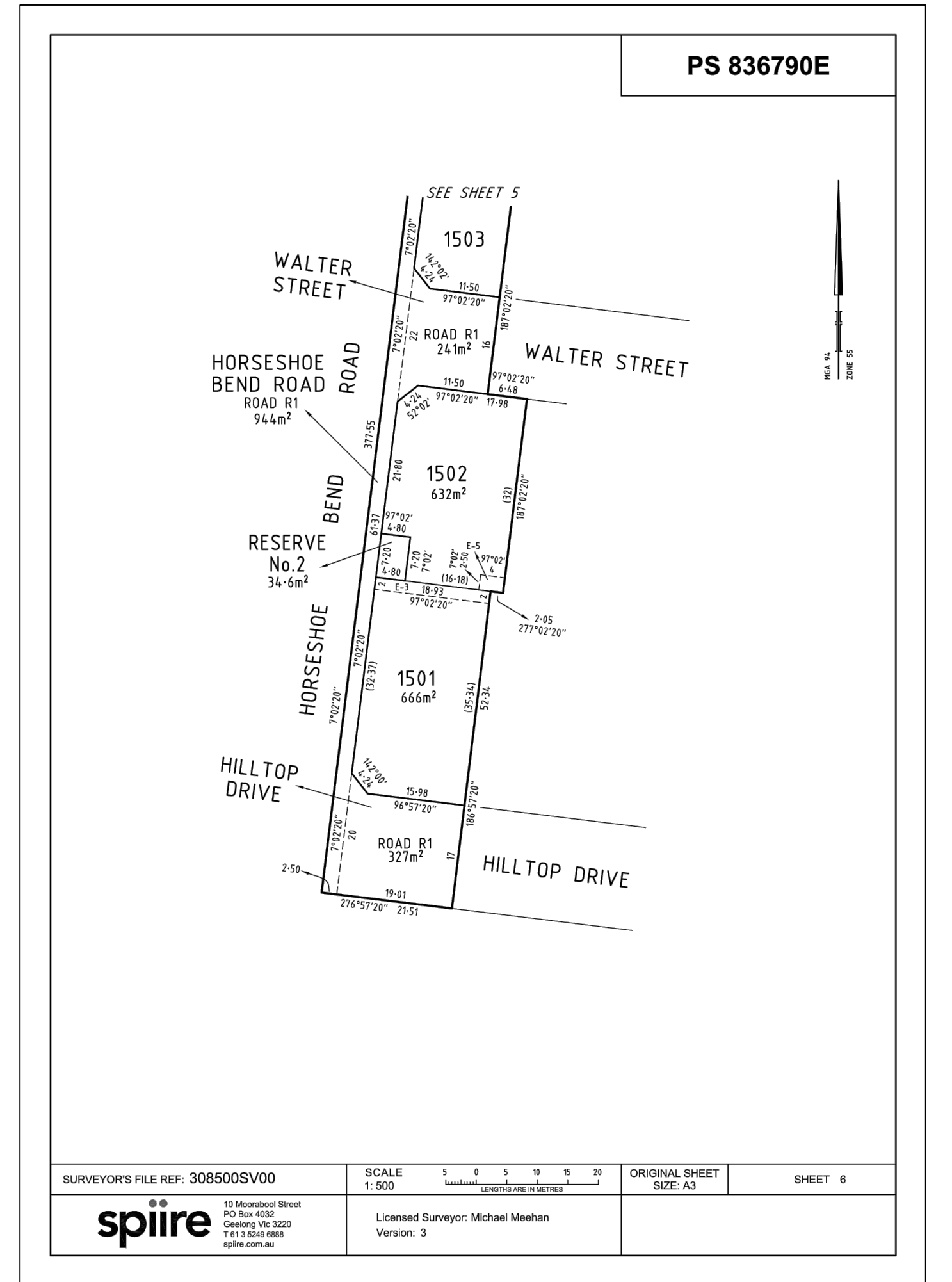
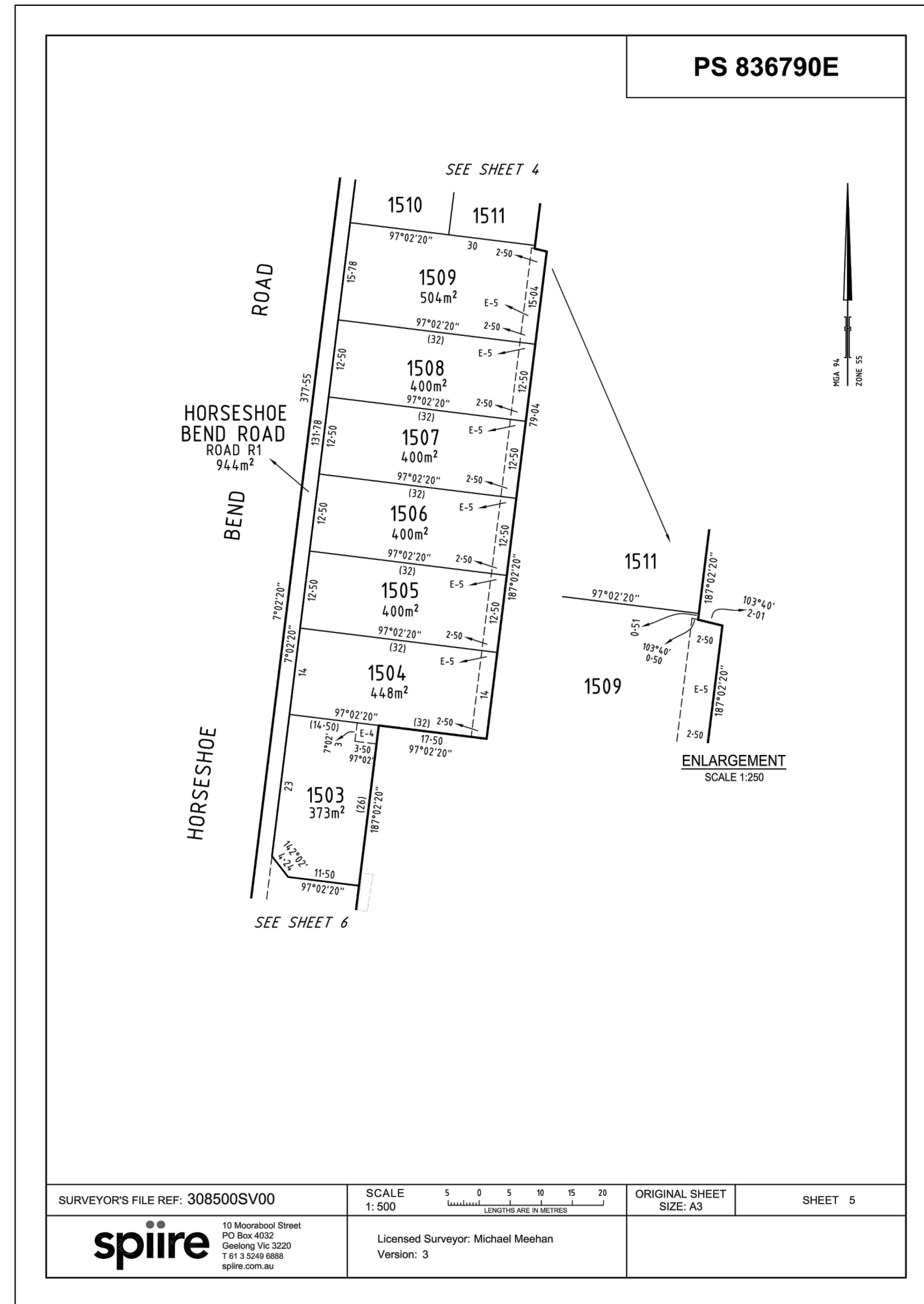
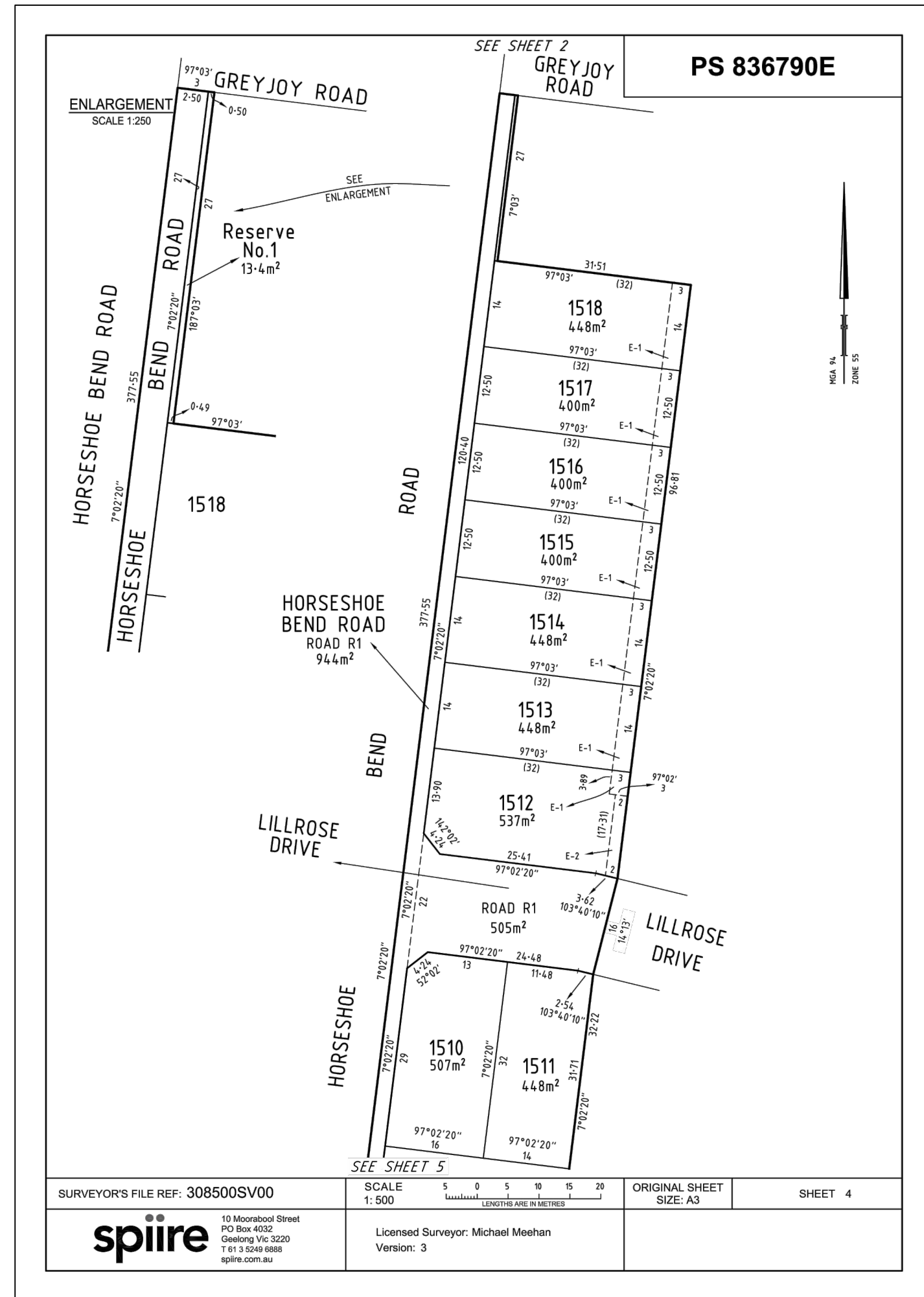
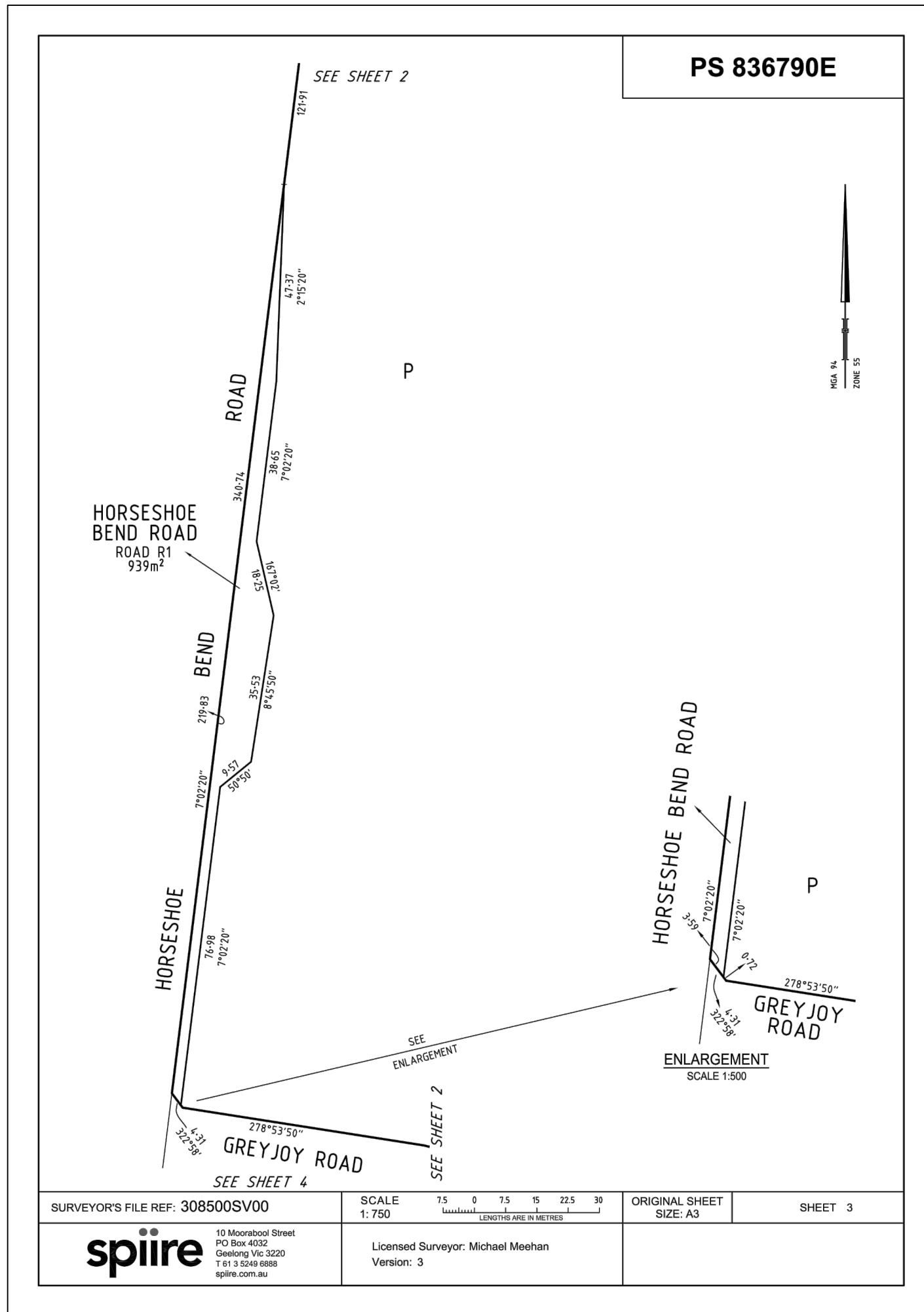


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PRELIMINARY Drg No 308500CR200

file name 308500CR200.dwg layout name CR200 plotted by Callum Hetherington
file location \\spire\geodata\Data\30\308500\Civil\ACAD plot date 02/09/2021 10:44 AM Sheet 2 of 3 Sheets



file name 308500CR900.dwg layout name CR900 plotted by Callum Hetherington
file location G:\30\308500\Civil\ACAD plot date 02/09/2021 10:44 AM Sheet 3 of 3 Sheets

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| Rev | Amendments | Approved | Date |

Scale

NOT TO SCALE



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Designed

Checked

Authorised

Date _____

**CHARLEMONT RISE
STAGE 15
ROAD AND DRAINAGE
MISCELLANEOUS - PLAN OF SUBDIVISION
CITY OF GREATER GEELONG
CHARLEMONT RISE PTY LTD**

PRELIMINARY Drg No **308500CR900**

INCLUSIONS





EXTERNAL

SITE COSTS

- Fixed Price Site Costs including Rock Excavation

EXTERNAL ITEMS

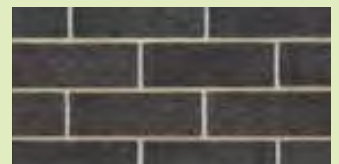
- Concrete Roof Tiles as per colour document **1**
- Colorbond Fascia, Gutter and Downpipes **2**
- Bricks as per colour document **3**
- Natural colour Mortar with Rolled joints
- Brickwork above Windows to front Facade only
- Painted Infills above Garage Door and all Windows and Doors to sides and rear
- Plaster Ceiling to Porch and Outdoor Living (if applicable)
- Two part Termite Treatment
- Colour Through Concrete Driveway and Path to Porch **4**
- Letterbox (with numbers)

GARAGE

- Colorbond Sectional Panelift Garage Door with Motor and 2No. Remote Controls **5**
- Weatherproof Door to Rear of Garage (plan specific)
- Flush Panel Garage/House Access Door (plan specific)
- Concrete Floor

DOORS - EXTERNAL

- Feature 2040mm high x 820mm wide Front Entry Door with Clear Glazing
- Double Cylinder Deadbolt to Front Entry
- Entrance set to all external Hinged Doors and Garage/House Access Door (plan specific)



Natural colour mortar with rolled joints



2040mm high x 820mm wide front entry door and entrance set



KITCHEN



- 900mm Stainless Steel Upright Cooker and Canopy Rangehood
- Stainless Steel Dishwasher
- 20mm Caesarstone Benchtops with 20mm Square Edge
- Laminate Base Cabinets
- Laminate Overhead Cabinets with Bulkhead above
- Stainless Steel Double Bowl Sink
- Mixer Tap
- Tiled Splashback
- 4No. Melamine Shelves to Pantry



Cabinet handles

Domain
Quality Appliances for Everyday Living



Stainless Steel Dishwasher



900mm Stainless Steel Upright Cooker



900mm Stainless Steel Canopy Rangehood



Mixer Tap



Stainless Steel Double Bowl Sink



20mm Caesarstone Benchtops with 20mm Square Edge



INTERNAL

INTERNAL ITEMS

- Engineered waffle Slab
- Pine Wall Frames and Roof Trusses
- 2590mm Ceiling height to Single Storey **6**
- 2590mm Ceiling height to Ground Floor and 2440mm to First Floor of a Double Storey
- Plasterboard Walls, Ceilings and Cornice
- 67mm Single Bevel Architrave and Skirting
- 75mm Scotia Cornice
- 1No. Melamine shelf with 1No. Hanging Rail to Bedroom Robes

DOORS - INTERNAL

- 2040mm high Flush Panel Doors throughout **7**
- Lever Door Handles

WINDOWS

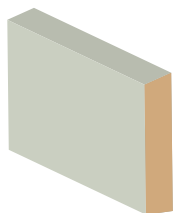
- Obscure Glazing to Ensuite, Bathroom and WC
- Aluminium Sliding Windows (unless otherwise nominated)
- Window Locks to all openable Windows (keyed alike)
- Venetians to Front Windows, Roller Blinds to remaining Clear Glazed Windows (excluding stairwell) and Sliding Doors

PAINTING

- 3No. Coat Paint system throughout **8**
- Gloss Enamel Paint to Architrave and Skirting

FLYSCREEN / SECURITY DOORS

- Flyscreens to all openable Windows
- Barrier Doors to all Sliding Doors



67mm single bevel architrave and skirting



Internal lever door handles



75mm scotia cornice



BATHROOM

BATHROOM

- Vanity Basin
- Acrylic Bath
- 20mm Caesarstone Benchtops with 20mm Square Edge
- Laminate Base Cabinets
- Semi-Framed Shower Screen
- Tiled Shower base
- Polished edge Mirror to full width of Vanity
- Mixer Tap
- Single Towel Rail
- Privacy Lock

WC / POWDER ROOM

- Toilet Suite
- Toilet Roll Holder
- Privacy Lock

ENSUITE

- Vanity Basin
- 20mm Caesarstone Benchtops with 20mm Square Edge
- Laminate Base Cabinets
- Semi-Framed Shower Screen
- Tiled Shower base
- Polished edge Mirror to full width of Vanity
- Mixer Tap
- Single Towel Rail
- Toilet Suite
- Toilet Roll Holder
- Privacy Lock

LAUNDRY

- Laundry Trough and Cabinet
- Mixer Tap
- Tiles to Splashback





Shower straight arm



Bath outlet



Laundry mixer tap



Shower mixer tap



Acrylic Bath



Laundry trough and cabinet



Single towel rail



Basin mixer tap



Toilet roll holder



Semi-framed shower screen



Vanity basin



Toilet Suite

INTERNAL



HEATING / COOLING

- Gas Ducted Heating **9**
- 1No. Split System Air Conditioner to main Living area on a Single Storey
- 1No. Split System Air Conditioner to main Living area and 1No. to Master Bedroom on a Double Storey (2No. Total)

ELECTRICAL

- Double Power Points throughout **10**
- LED Downlights throughout **11**
- Single weatherproof LED Flood Light with Sensor outside Laundry
- Hardwired Smoke Detectors with battery backup
- 2No. TV /Points **12**
- 1No. TV Antenna (estate specific)
- 2No. Phone Points

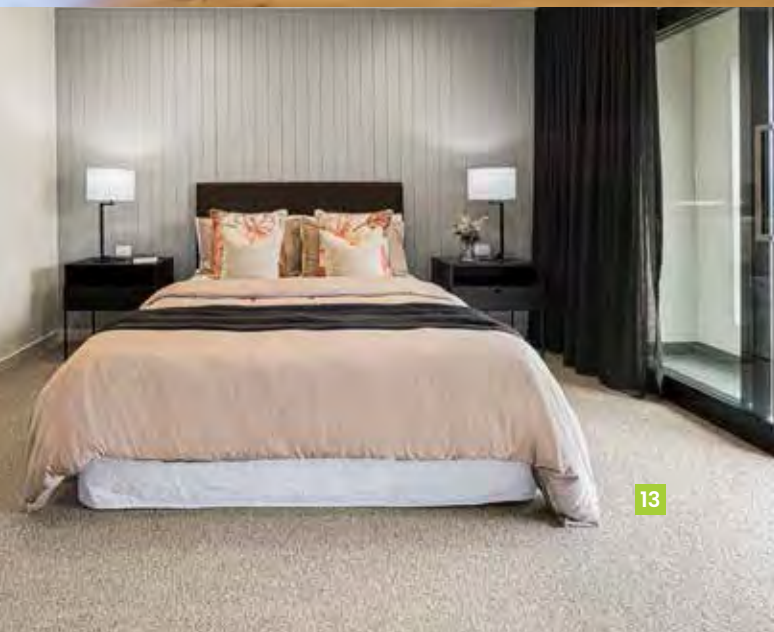
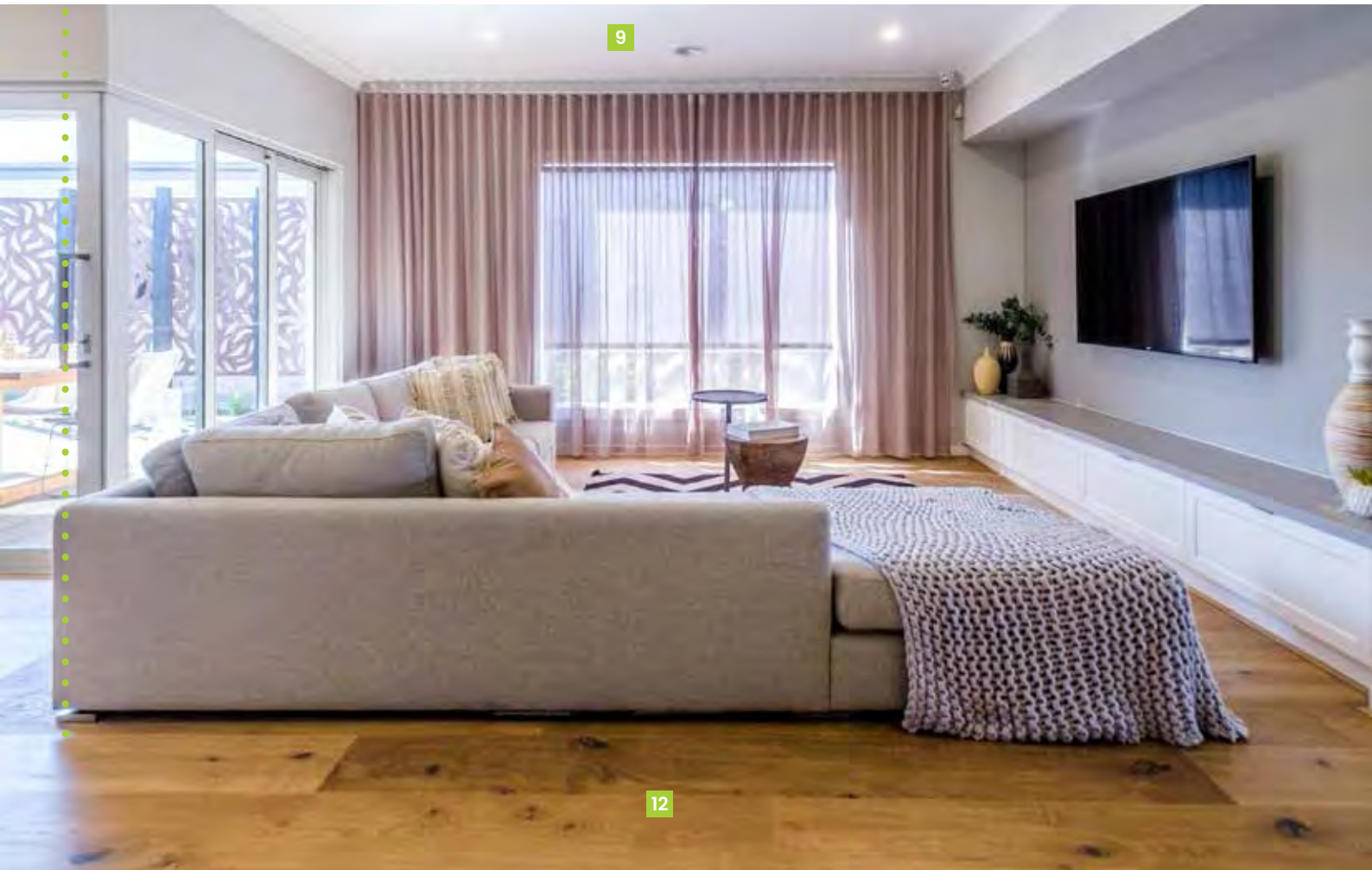
ENERGY EFFICIENCY

- 6 Star Energy Rating
- Solar Hot Water Service with Gas Booster
- Insulation to Walls and Ceilings
- Self-sealing Exhaust Fans Positioned above all Showers
- External venting to all exhaust fans and rangehoods

LANDSCAPING

- Combination of Turf, Plants, Mulch and Toppings to Front and Rear Yards
- Irrigation Connected to Two Garden Taps with Timers
- Compacted Paths around Perimeter of House
- Timber Fencing, including Wing Fence and Gate, to all Boundaries
- Nature Strips Levelled and Seeded
- Clothesline

SURFACES AND FINISHES



12

FLOOR COVERINGS

- Tiles to Wet Areas, Timber laminate to Entry and Living areas connected to the Kitchen (as per standard house plan) **12**
- Carpet to remainder of House (as per standard house plan) **13**

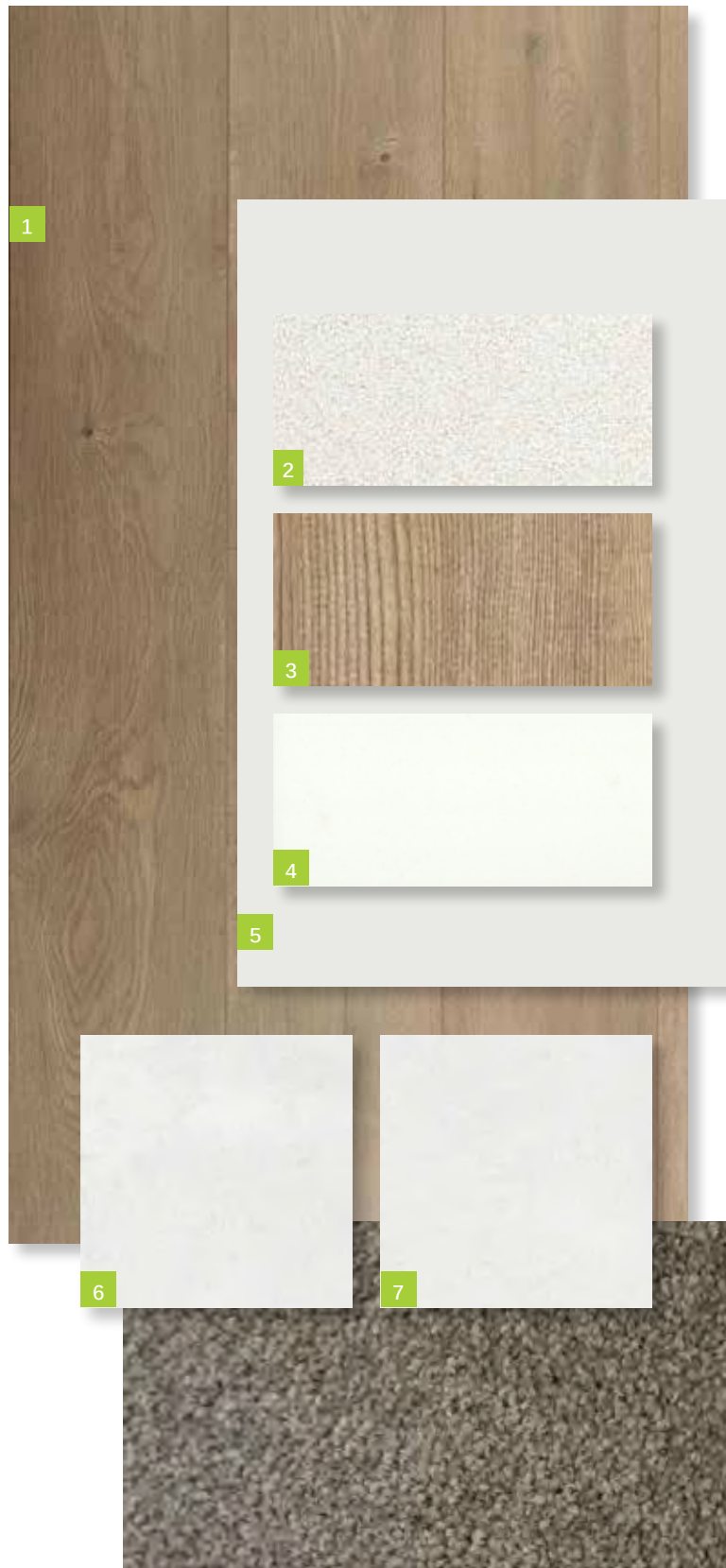
GENERAL

- Fixed Price Contract
- All Permits as Required by Building Regulations
- Survey and Drafting Plans
- Design Guidelines Fixed
- Engineer Designed Slab/Foundations
- All Service Connections (excluding consumer account opening and fibre optic connection if applicable)
- Independent Quality Inspections
- Full House Clean on Completion
- 3 Month Maintenance period
- Home Owners Warranty
- 10 Year Structural Warranty

INTERNAL COLOURS



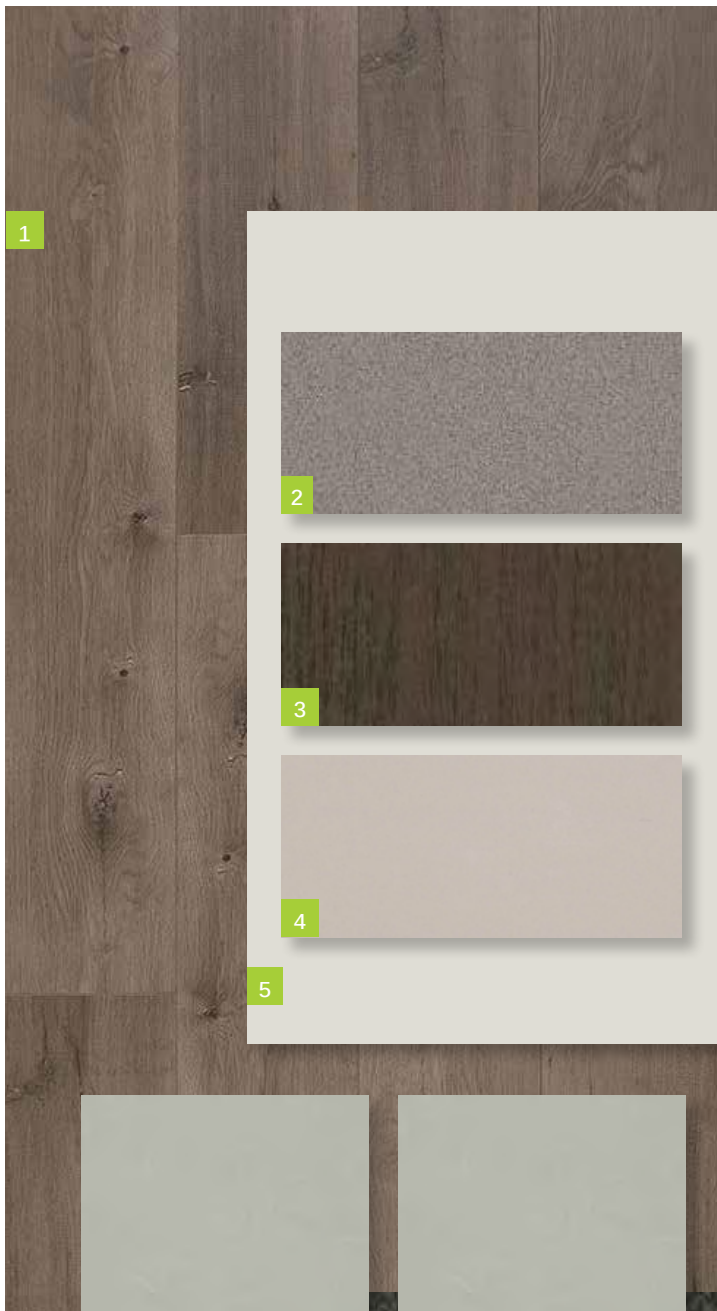
INTERNAL COLOUR SELECTION ALPINE



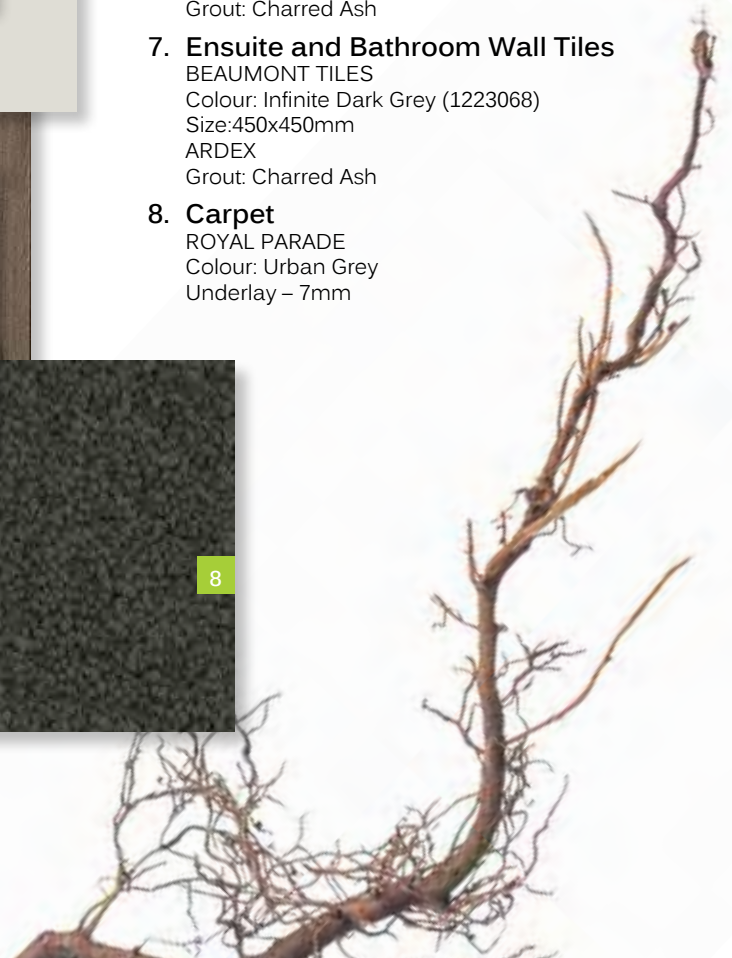
- 1. Timber Laminate Floor**
SURFACES BY HYNES
Colour: Brooklyn – Ridgewood
- 2. Benchtop**
CAESARSTONE
20mm Square Edge
Colour: 3141 Osprey
- 3. Overheads Cabinet**
Cabinet - Base (includes kicker)
FORMICA
Velvet Finish
Square Edge ABS Edging
Colour: Mocha Firewood
- 4. Splashback**
BEAUMONT TILES
Colour: United White Gloss (182174)
Size: 100x300mm
ARDEX
Grout: White
Laid horizontal and stacked
- 5. Walls**
WATTYL
Colour: Feather Dawn 19.40
Finish: Low Sheen
Doors / Woodwork
Finish: Gloss
- 6. Floor Tiles:**
Laundry, Ensuite, Bathroom and WC (inc. shower bases)
BEAUMONT TILES
Colour: Belga White (1204371)
Size: 450x450mm
ARDEX
Grout: Misty Grey
- 7. Ensuite and Bathroom Wall Tiles**
BEAUMONT TILES
Colour: Belga White (1204371)
Size: 450x450mm
ARDEX
Grout: Misty Grey
- 8. Carpet**
ROYAL PARADE
Colour: March
Underlay – 7mm



INTERNAL COLOUR SELECTION BASALT

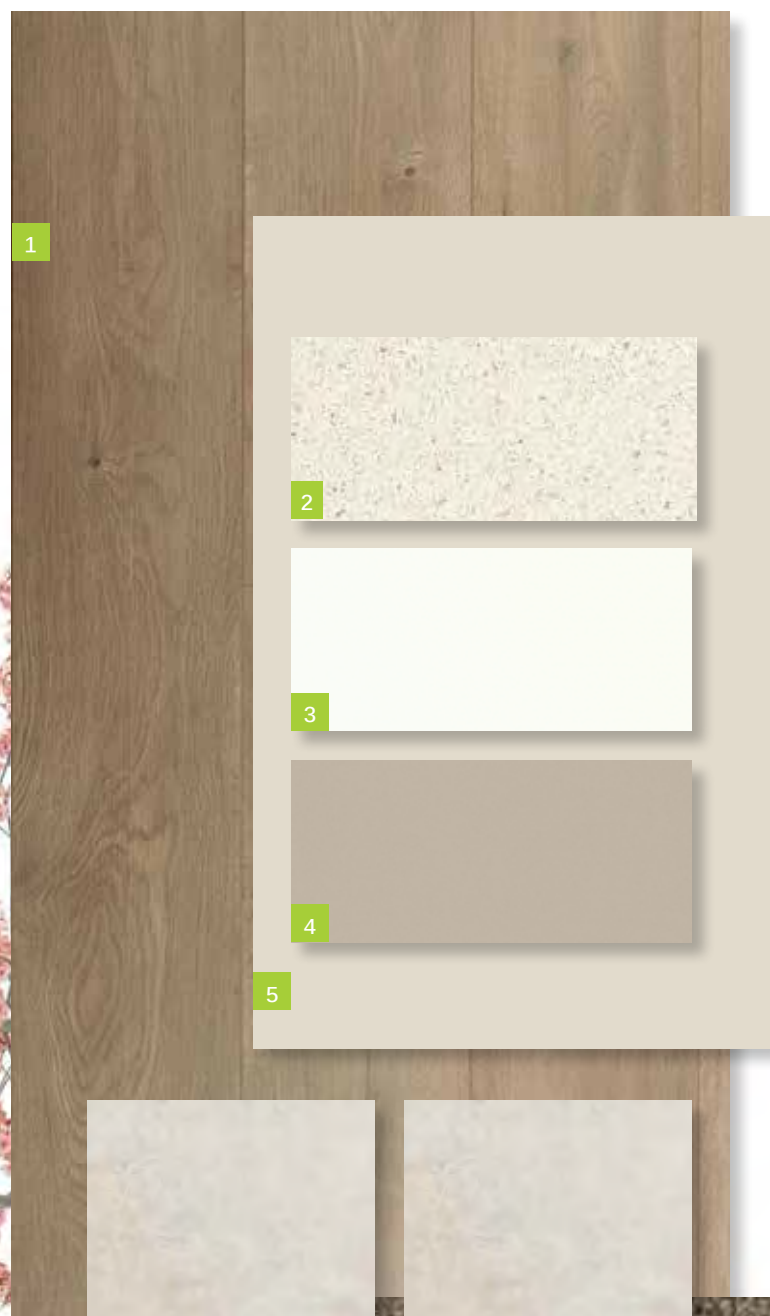


- 1. Timber Laminate Floor**
SURFACES BY HYNES
Colour: Brooklyn – Ridgewood
- 2. Benchtop**
CAESARSTONE
20mm Square Edge
Colour: 2040 Urban
- 3. Overheads Cabinet**
Cabinet - Base (includes kicker)
FORMICA
Velour Finish
Square Edge ABS Edging
Colour: Bodega Oak 1009
- 4. Splashback**
BEAUMONT TILES
Colour: United Pumice Gloss (1006457)
Size: 100x300mm
ARDEX
Grout: Misty Grey
Laid horizontal and stacked
- 5. Walls**
WATTYL
Colour: Floral White ½ strength
Finish: Low Sheen
Doors / Woodwork
Finish: Gloss
- 6. Floor Tiles:**
Laundry, Ensuite, Bathroom and WC (inc. shower bases)
BEAUMONT TILES
Colour: Infinite Dark Grey (1223068)
Size: 450x450mm
ARDEX
Grout: Charred Ash
- 7. Ensuite and Bathroom Wall Tiles**
BEAUMONT TILES
Colour: Infinite Dark Grey (1223068)
Size: 450x450mm
ARDEX
Grout: Charred Ash
- 8. Carpet**
ROYAL PARADE
Colour: Urban Grey
Underlay – 7mm





INTERNAL COLOUR SELECTION IVORY



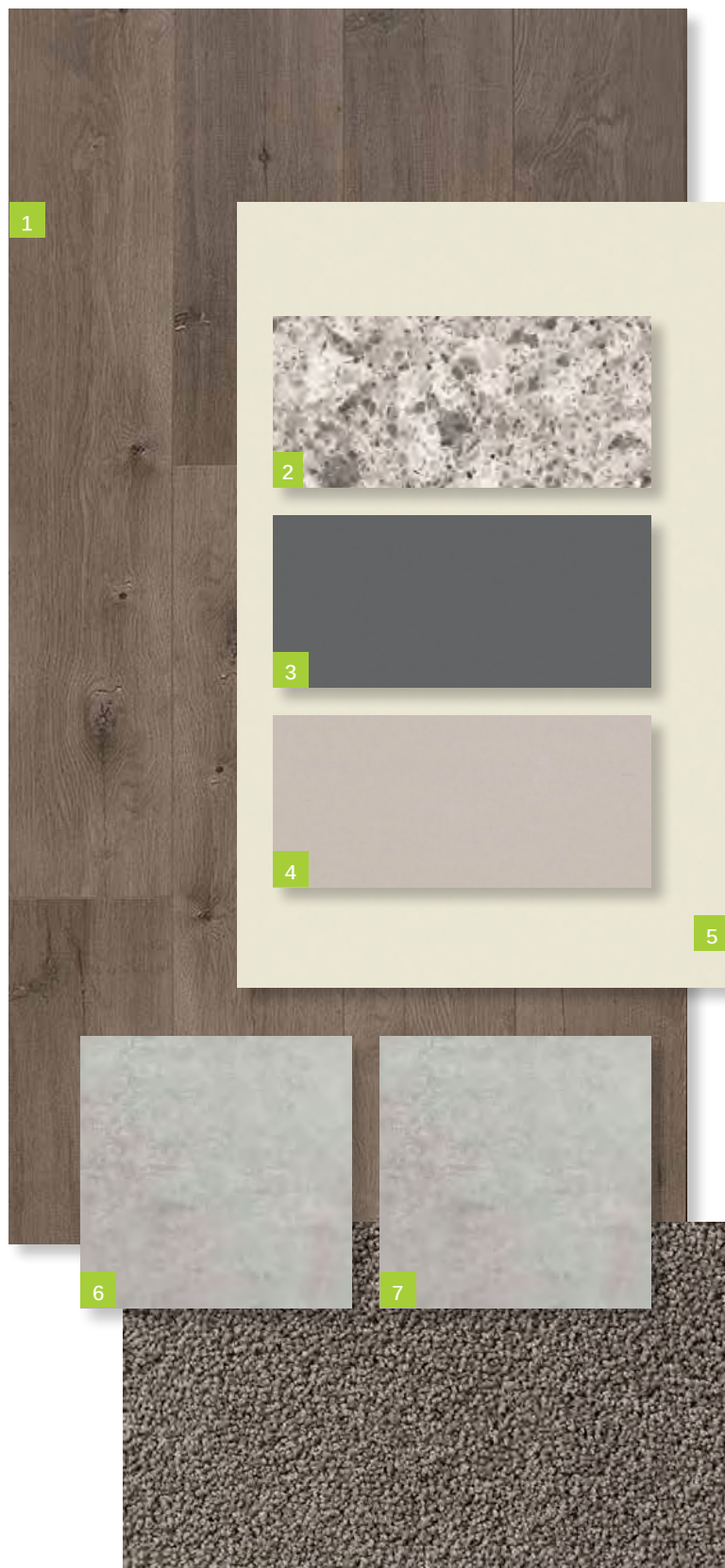
1. **Timber Laminate Floor**
SURFACES BY HYNES
Colour: Brooklyn – Ridgewood
2. **Benchtop**
CAESARSTONE
20mm Square Edge
Colour: 6141 Ocean Foam
3. **Overheads Cabinet**
Cabinet - Base (includes kicker)
FORMICA
WAW Velour Finish
Square Edge ABS Edging
Colour: Warm White
4. **Splashback**
BEAUMONT TILES
Colour: United Ash Latte Gloss (182055)
Size: 100x300mm
ARDEX
Grout: Travertine
Laid horizontal and stacked
5. **Walls**
WATTYL
Colour: Grand Piano 1/4 A204
Finish: Low Sheen
Doors / Woodwork
Finish: Gloss
6. **Floor Tiles:**
Laundry, Ensuite, Bathroom and WC (inc. shower bases)
BEAUMONT TILES
Colour: Belga Ivory (79934)
Size: 450x450mm
ARDEX
Grout: Misty Grey
7. **Ensuite and Bathroom Wall Tiles**
BEAUMONT TILES
Colour: Belga Ivory (79934))
Size: 450x450mm
ARDEX
Grout: Misty Grey
8. **Carpet**
ROYAL PARADE
Colour: Hazelnut
Underlay – 7mm



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INTERNAL COLOUR SELECTION STORM



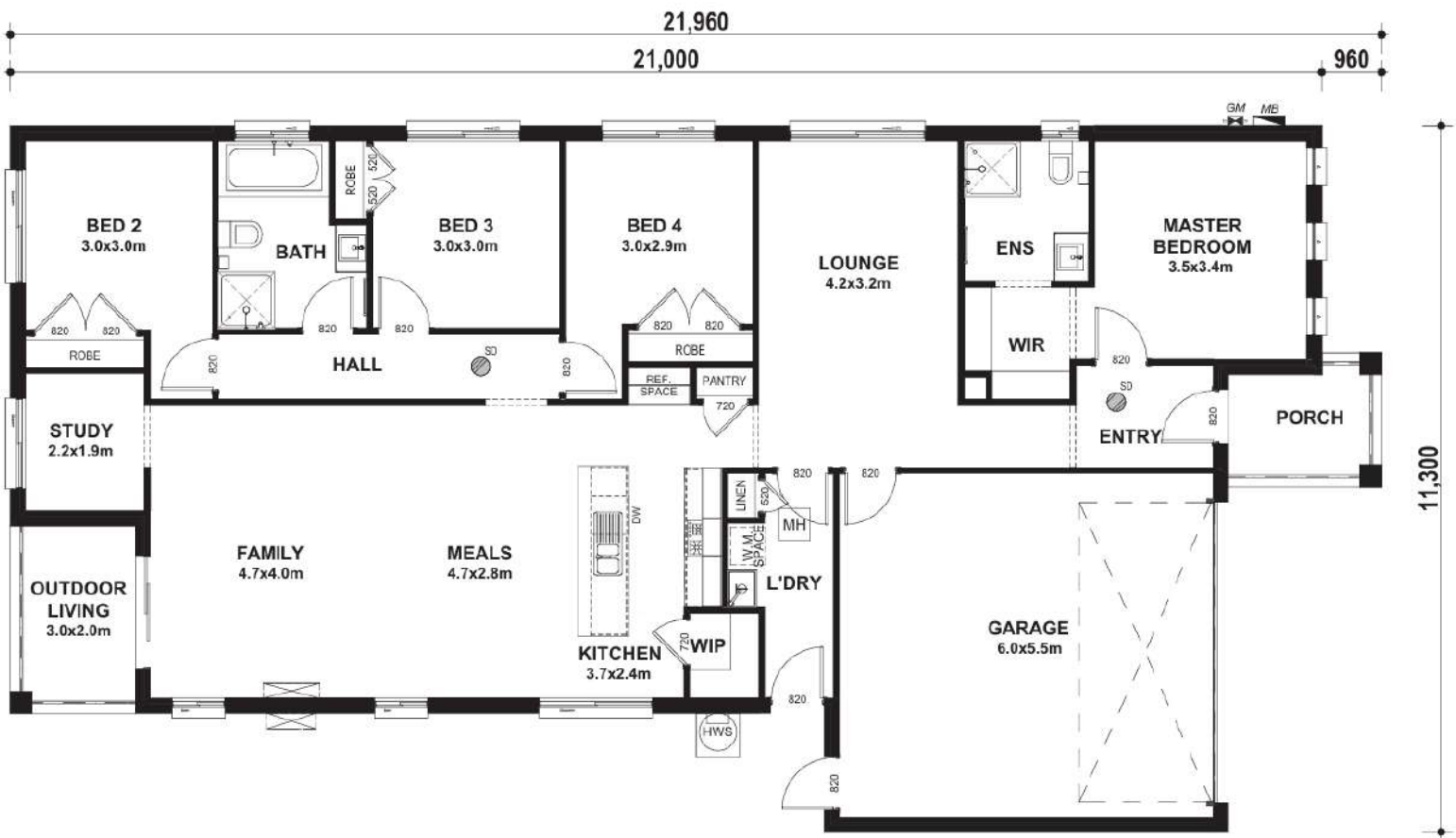
1. **Timber Laminate Floor**
SURFACES BY HYNES
Colour: Brooklyn - Newtown
2. **Benchtop**
CAESARSTONE
20mm Square Edge
Colour: 6270 Atlantic Salt
3. **Overheads Cabinet**
Cabinet - Base (includes kicker)
FORMICA
Velvet Finish
Square Edge ABS Edging
Colour: Storm S2
4. **Splashback**
BEAUMONT TILES
Colour: United Pumice Gloss (1006457)
Size: 100x300mm
ARDEX
Grout: Misty Grey
Laid horizontal and stacked
5. **Walls**
WATTYL
Colour: White Smoke T15 3.6
Finish: Low Sheen
Doors / Woodwork
Finish: Gloss
6. **Floor Tiles:**
Laundry, Ensuite, Bathroom and WC (inc. shower bases)
BEAUMONT TILES
Colour: Belga Grey (79931)
Size: 450x450mm
ARDEX
Grout: Magellan Grey
7. **Ensuite and Bathroom Wall Tiles**
BEAUMONT TILES
Colour: Belga
Size: 450x45
ARDEX
Grout: Magellan Grey
8. **Carpet**
GOTHAM
Colour: Bird
Underlay –





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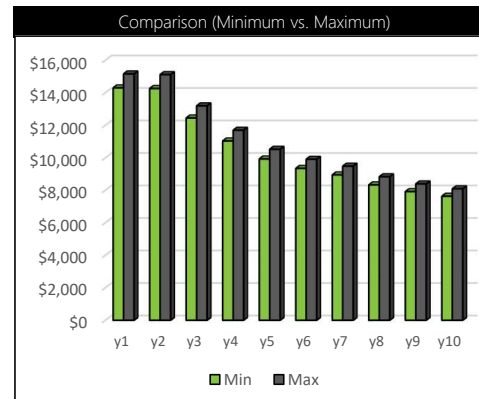




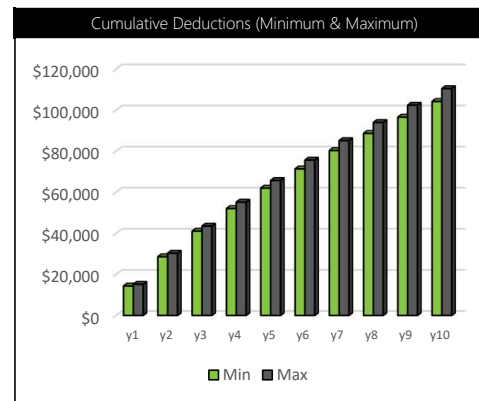
ESTIMATE /

Depreciation Estimate Wentworth 22 Design MCG Quantity Surveyors

| Maximum | | | |
|-------------|-------------|-------------|-----------|
| Year | Division 40 | Division 43 | Total |
| 1 | \$8,111 | \$7,048 | \$15,159 |
| 2 | \$8,068 | \$7,048 | \$15,116 |
| 3 | \$6,145 | \$7,048 | \$13,194 |
| 4 | \$4,646 | \$7,048 | \$11,695 |
| 5 | \$3,473 | \$7,048 | \$10,521 |
| 6 | \$2,857 | \$7,048 | \$9,906 |
| 7 | \$2,435 | \$7,048 | \$9,483 |
| 8 | \$1,783 | \$7,048 | \$8,831 |
| 9 | \$1,343 | \$7,048 | \$8,392 |
| 10 | \$1,040 | \$7,048 | \$8,088 |
| Total Value | \$45,513 | \$281,939 | \$327,452 |



| Minimum | | | |
|-------------|-------------|-------------|-----------|
| Year | Division 40 | Division 43 | Total |
| 1 | \$7,652 | \$6,649 | \$14,301 |
| 2 | \$7,611 | \$6,649 | \$14,261 |
| 3 | \$5,797 | \$6,649 | \$12,447 |
| 4 | \$4,383 | \$6,649 | \$11,033 |
| 5 | \$3,276 | \$6,649 | \$9,926 |
| 6 | \$2,696 | \$6,649 | \$9,345 |
| 7 | \$2,297 | \$6,649 | \$8,946 |
| 8 | \$1,682 | \$6,649 | \$8,331 |
| 9 | \$1,267 | \$6,649 | \$7,917 |
| 10 | \$981 | \$6,649 | \$7,631 |
| Total Value | \$42,936 | \$265,977 | \$308,914 |



This estimate is presented as a guide to the potential depreciation deductions only and should not be applied or acted upon. The depreciation of the plant and equipment items is based on the Diminishing Value method of depreciation applying Low-Value Pooling and 100% deductions. The Division 43 Capital Allowance is calculated at 2.5% p.a. of the estimated construction cost. The estimate is based upon legislation current as at the date of report production.

THIS ESTIMATE CANNOT BE USED FOR TAXATION PURPOSES.

