



# BOTANICAL

STAGE 26

Artist impression.

100% READY TO RENT, TENANTS  
CAN MOVE IN STRAIGHT AWAY.



Features that make a home rent-ready include:

- Fixed price package
- Landscaping to front
- Fencing
- Clothesline and letterbox
- Concrete paving including driveway
- Heating and cooling
- Dishwasher
- Flooring
- Window furnishings



# YOUR NEXT INVESTMENT OPPORTUNITY IN A PRIME LOCATION

Botanical presents an exceptional investment opportunity in one of Melbourne's most sought-after locations. This development is where Melbourne's growth and potential converge. Botanical offers investors access to premium, well-positioned land in the heart of Mickleham next to Mount Ridley Nature Conservation Reserve, and with connectivity to the Melbourne CBD via the Hume Freeway or Donnybrook and Craigieburn railway stations. Located just north of the rapidly expanding Craigieburn, this is in the heart of one of Melbourne's fastest-growing areas and is a ripe location for investors.

## A UNIQUE OPPORTUNITY FOR SMART INVESTORS

Townhomes within Botanical Estate offer the perfect mix of high growth, desirability and affordability. This is your chance to acquire one of a select number of premium-quality townhomes created by Australia's number one home builder<sup>^</sup>.

These townhomes will look simply stunning as part of a co-ordinated and treelined streetscape, whilst being luxurious, light-filled and spacious inside. Value-packed and effortlessly modern, also makes it simple to select your interior colour scheme. Every home is also designed to be low maintenance for your peace of mind.

As for location, you'll find a nearby host of parks, retail amenities, and regional tourism destinations for tenants to enjoy. With over 30 hectares of planned open spaces, including a future sports oval and nearby community recreation facilities, Botanical is not just a place to live—it's a thriving community in the making.

There's also the benefit of the proposed local shopping village and convenience store just a short walk away, and a future childcare centre that offers future tenants convenience and lifestyle, and adding to the area's appeal. Take advantage of this high-demand area today.

<sup>^</sup>HIA-COLORBOND Steel Housing Top 100 Report 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024.



Artist impression.





# LOCATION, CONVENIENCE, AND LIFESTYLE

## UNLOCK POTENTIAL IN MICKLEHAM

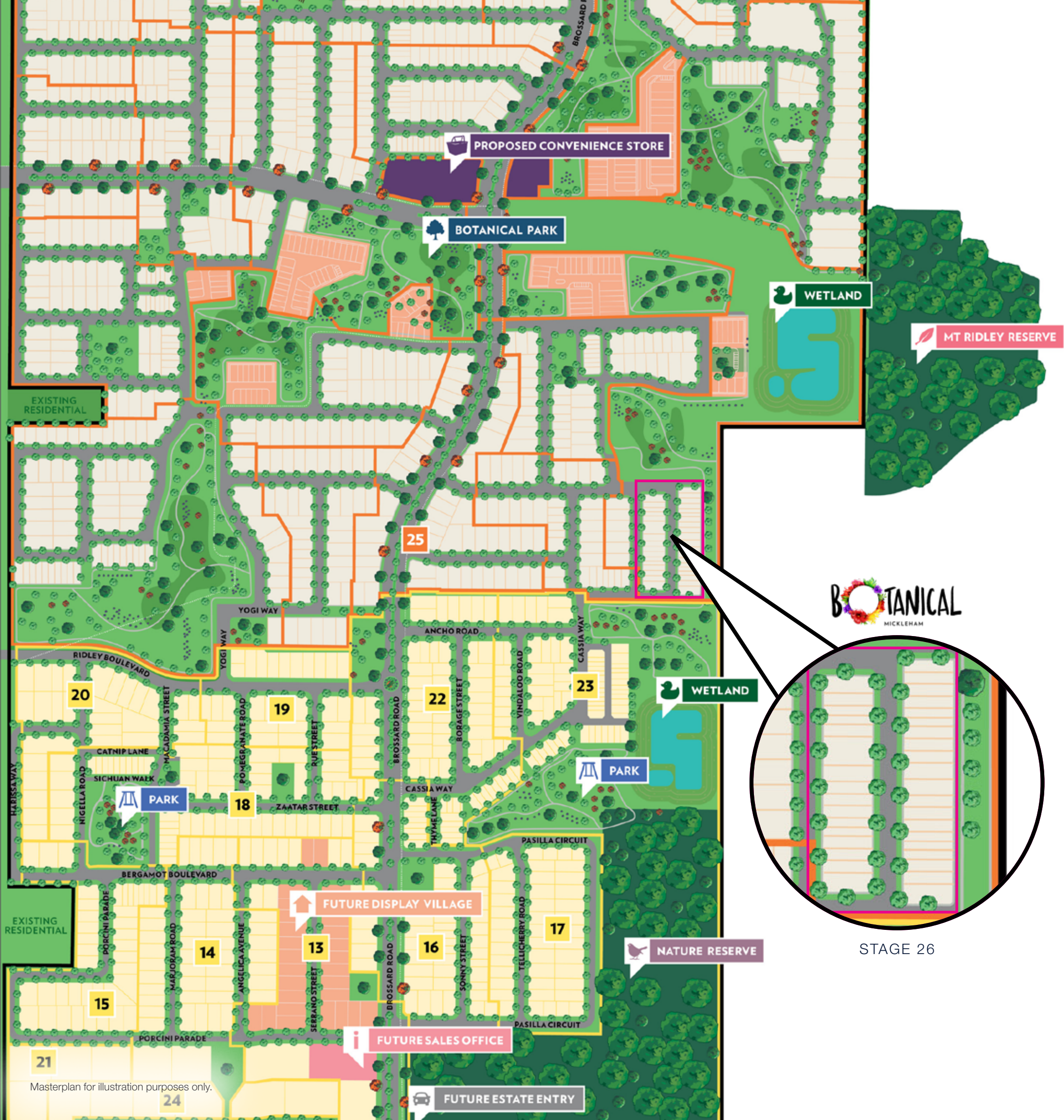
One of the major draws for investors is the convenience of the location. With everything your tenants need right on their doorstep - including major retailers, specialty stores, local convenience outlets and dining options - Botanical is a community that caters to modern living. Investors can rest assured that the area's ongoing development, coupled with its proximity to transport hubs, will continue to drive demand for both purchasing and rental opportunities.

## LOCATION & CONNECTIVITY

- **Quick Access to Melbourne CBD:** Via Mickleham Road and the Tullamarine Freeway or a 45-minute train ride to the heart of the city, providing excellent connectivity for residents.
- **Annandale Family Medical Centre:** Within walking distance, offering healthcare accessibility for tenants.
- **Strategic Road Connections:** Easy access throughout the area via Craigieburn Road, Mickleham Road and Donnybrook Road, facilitating commuter convenience.
- **Shopping & Retail Convenience:** Craigieburn Central and Highlands Shopping Centre are just 10 minutes away, offering a range of retail options.
- **Future Mickleham City Centre:** Less than 5 minutes away, this \$75M retail hub opens in early 2026, bringing growth, value, and business opportunities.
- **Merrifield Business Park:** Planned just 8 kilometers away, this business hub will enhance employment opportunities and drive demand for rental properties in the area.
- **Airport Access:** Only 20 minutes to Tullamarine and Essendon airports, ensuring easy connectivity for both residents and investors.









# A MASTER-PLANNED COMMUNITY WITH LIFESTYLE AND GROWTH



At the heart of Botanical, you'll find a planned 22-hectare Botanical Park with wetlands, parks with playgrounds, and various botanical-themed gardens. The community will feature a sporting oval, a vast network of walking and cycling trails, and extensive green spaces providing residents with an exceptional quality of life. The inclusion of mature river red gum trees throughout the parklands enhances the serene and picturesque environment - factors that significantly boost the appeal of the area for future tenants.

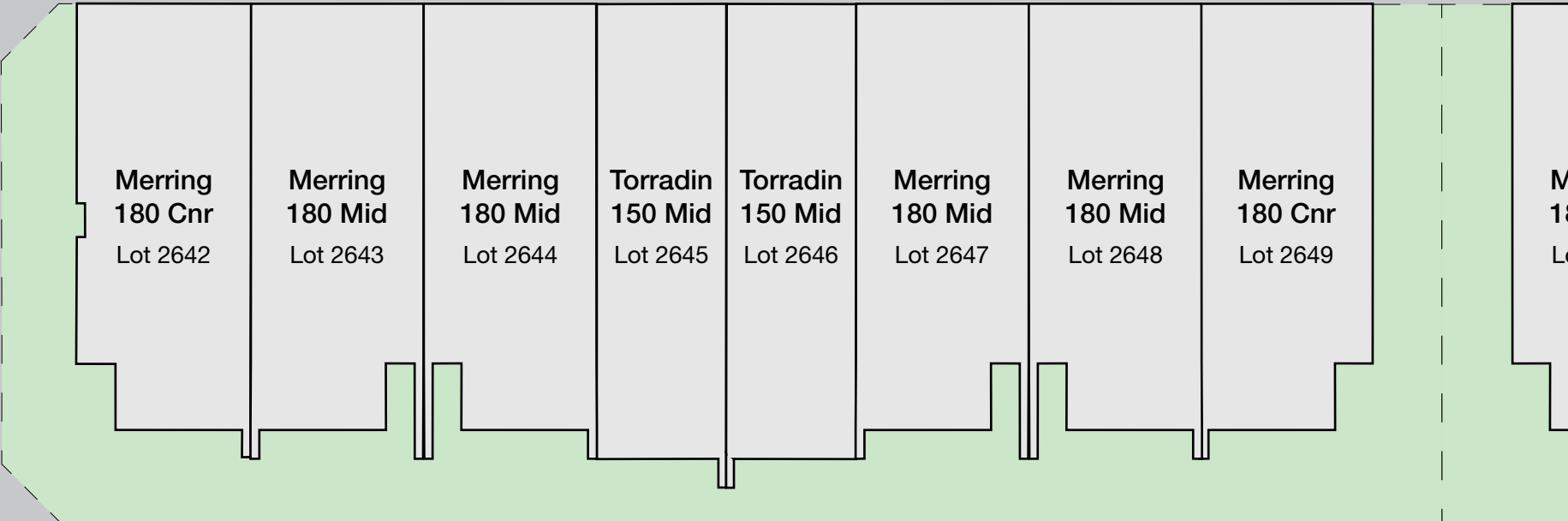
This is an investment in more than just property - it's an investment in a community designed to thrive. Smart urban planning, wide footpaths, low speed limits and ample street lighting will ensure that future residents enjoy a safe, walkable, and sustainable environment.

## NOTABLE HIGHLIGHTS OF BOTANICAL

- **30 hectares of open spaces to enjoy:** Including the 22-Hectare Botanical Park featuring wetlands, a playground, and botanical-themed gardens, offering a unique recreational and aesthetic draw for future residents.
- **Proximity to Mt Ridley Nature Conservation Reserve:** Enhancing the area's natural appeal and future growth potential.
- **Comprehensive Amenities:** The nearby Hume Tennis and Community Centre, Splash Aqua Park and Leisure Centre, and Craigieburn Sporting Club and Golf Course are all key lifestyle attractions for prospective tenants.
- **Abundant Early Childhood Education Options:** Kool Kidz Childcare, Nino Early Learning Adventures, and Pelican Childcare are located close by, ensuring strong demand from families.
- **Established Primary Schools:** Close proximity to Mickleham Primary, Craigieburn Primary and Aitken Creek Primary ensures a family-friendly environment, a key consideration for long-term renters.
- **Highly Desired Secondary Schools:** With sought-after public and private options like Hume Anglican Grammar, Craigieburn Secondary College, and Kolbe Catholic College nearby, the area offers great educational opportunities, making it ideal for family tenants.
- **17 Top-Quality Schools:** With 17 existing and proposed schools in the vicinity, the area is primed for continued growth and future demand.

# BOTANICAL

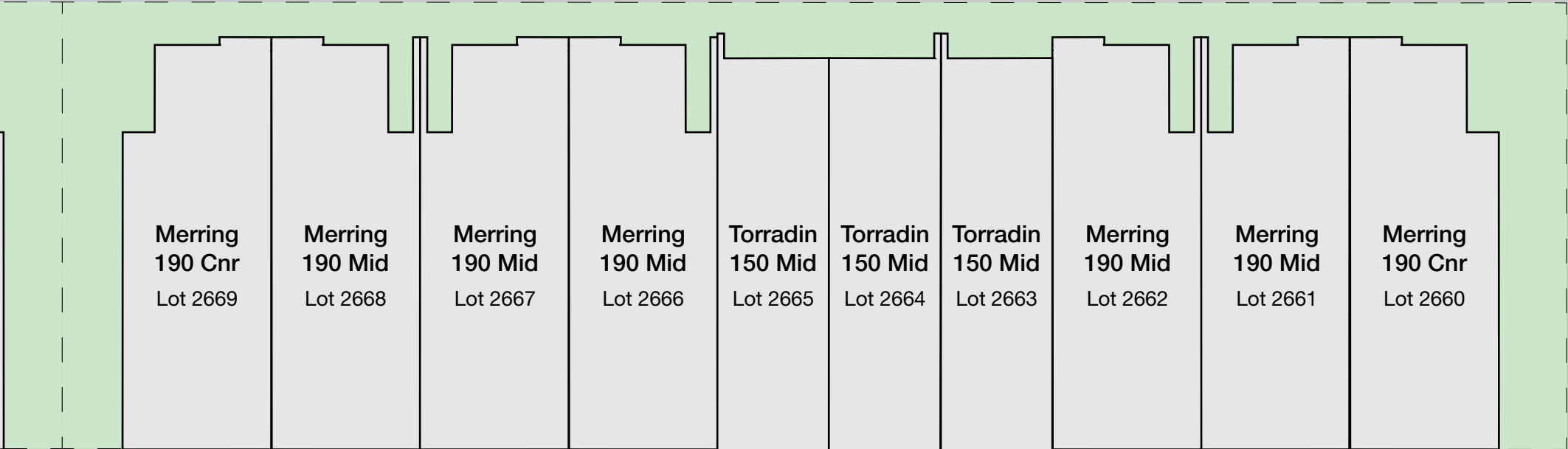
STAGE 26 TOWNHOMES



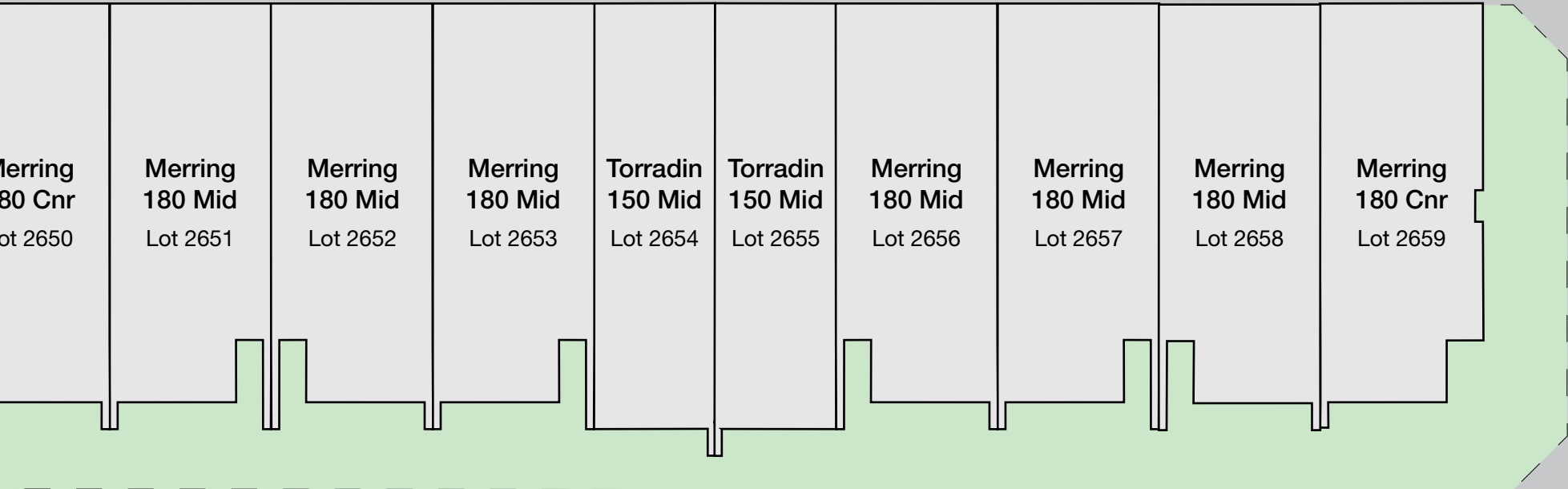
Not to scale. For illustration purposes only.



RESERVE



DRUMSTICK LANE



FAIRYWREN ROAD

# BOTANICAL

LOT 2650–2659







Artist impression. Based on lots 2650–2659.

# MERRING 180 CNR

4 | 2 | 1 | 2

Ground Floor	48.80 m <sup>2</sup>	Garage	38.53 m <sup>2</sup>
First Floor	76.36 m <sup>2</sup>	Portico	1.85 m <sup>2</sup>
<b>Total Internal</b>	<b>125.16 m<sup>2</sup></b>	Balcony	14.28 m <sup>2</sup>
		<b>Total Home Area</b>	<b>179.82 m<sup>2</sup></b>



Floorplan shown on Lot 2659

19.36 SQ

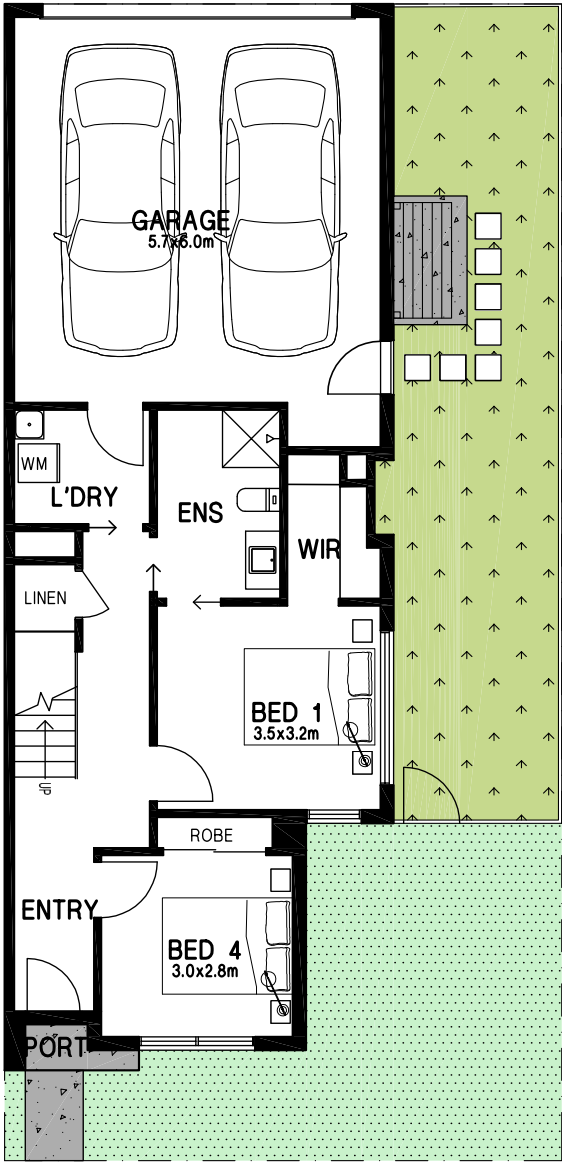
Merring 180 Cnr available on Lots 2642, 2649, 2650 & 2659. Refer to contract drawings for lot specific floorplan.



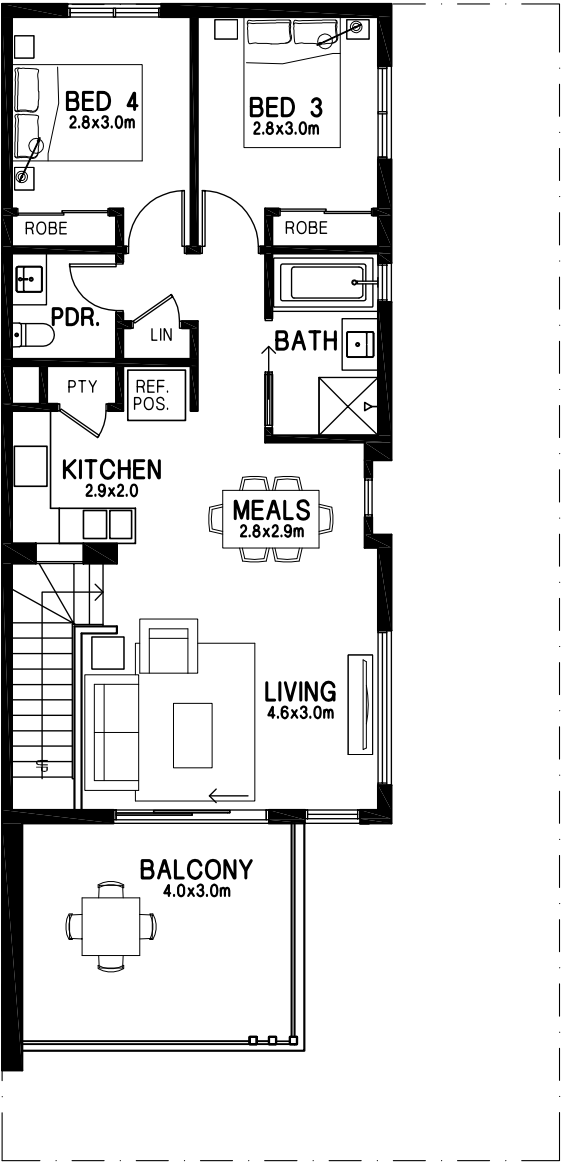
MERRING 190 CNR

Ground Floor	54.40 m <sup>2</sup>	Garage	38.71 m <sup>2</sup>
First Floor	78.05 m <sup>2</sup>	Portico	1.00 m <sup>2</sup>
<b>Total Internal</b>	<b>132.45 m<sup>2</sup></b>	Balcony	15.55 m <sup>2</sup>
		<b>Total Home Area</b>	<b>187.71 m<sup>2</sup></b>

4 | 2 | 1 | 2



Floorplan shown on Lot 2679



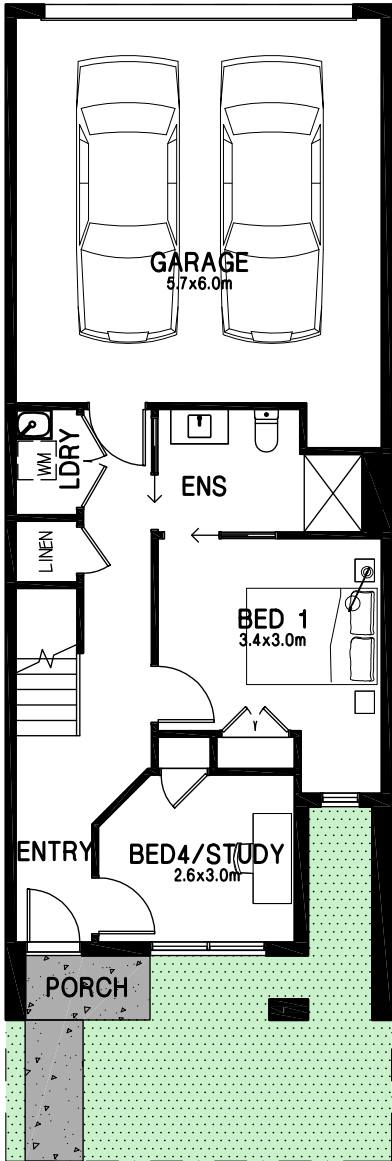
Merring 190 Cnr available on Lots 2660, 2669, 6970 & 2679. Refer to contract drawings for lot specific floorplan.

20.20 SQ

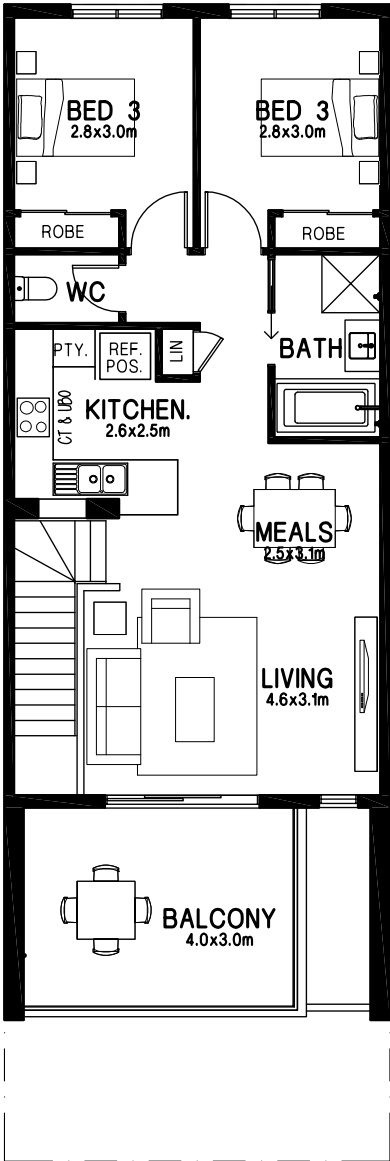
# MERRING 180 MID

4 | 2 | 1 | 2

Ground Floor	48.92 m <sup>2</sup>	Garage	38.16 m <sup>2</sup>
First Floor	76.95 m <sup>2</sup>	Portico	1.85 m <sup>2</sup>
<b>Total Internal</b>	<b>125.87 m<sup>2</sup></b>	Balcony	14.28 m <sup>2</sup>
		<b>Total Home Area</b>	<b>180.16 m<sup>2</sup></b>



Floorplan shown on Lot 2651



19.39 SQ

Merring 180 Mid available on Lots 2643-2644, 2647-2648, 2651-2653, 2656-2658.  
Refer to contract drawings for lot specific floorplan.

Ground Floor	55.70 m <sup>2</sup>	Garage	38.36 m <sup>2</sup>
First Floor	78.86 m <sup>2</sup>	Portico	1.00 m <sup>2</sup>
<b>Total Internal</b>	<b>134.56 m<sup>2</sup></b>	Balcony	15.55 m <sup>2</sup>
		<b>Total Home Area</b>	<b>189.47 m<sup>2</sup></b>

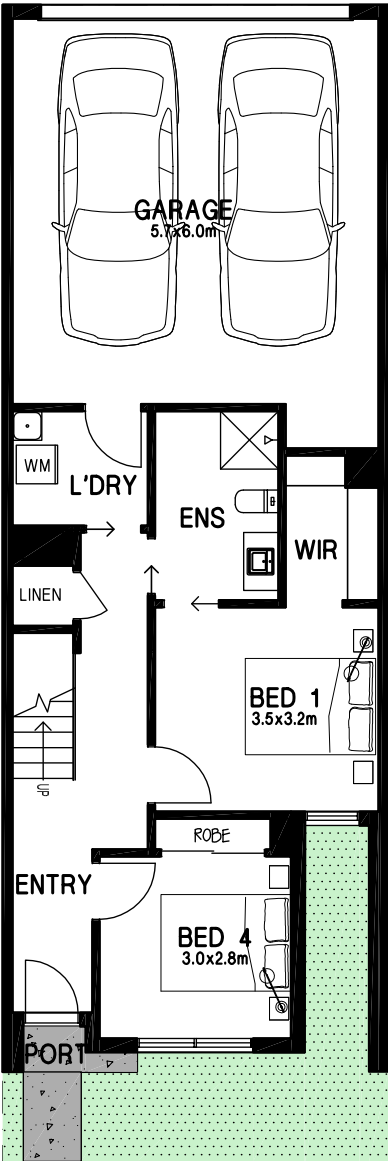
# MERRING 190 MID


4

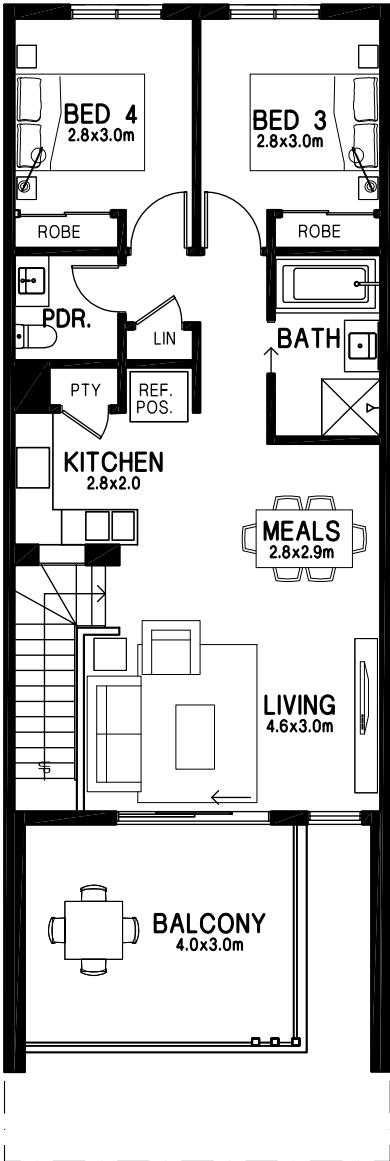

2


1


2



Floorplan shown on Lot 2661



Merring 190 Mid available on Lots 2661, 2662, 2666-2668, 2671-2673, 2676-2678.  
 Refer to contract drawings for lot specific floorplan.

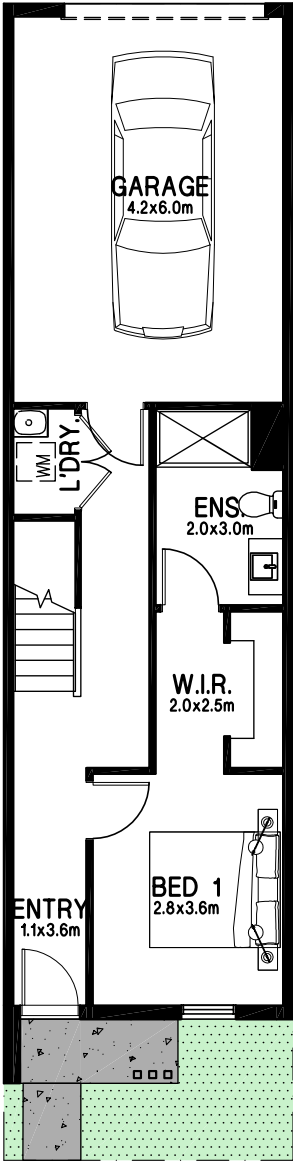
20.39 SQ



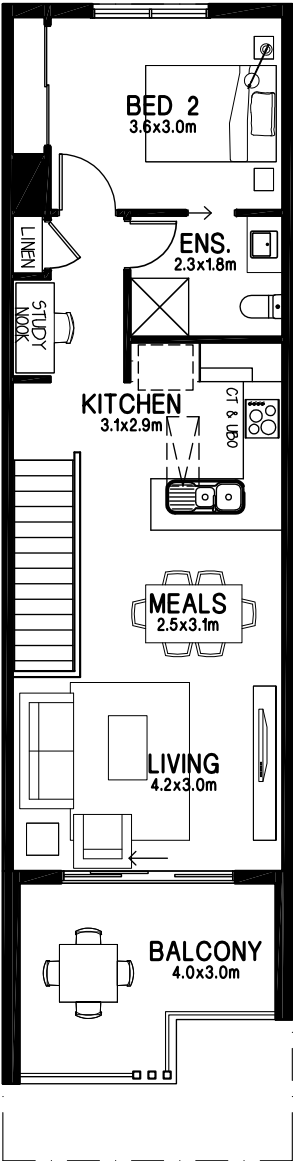
# TOORADIN 150 MID

2 | 2 | 1 | 1

Ground Floor	43.39 m <sup>2</sup>	Garage	27.86 m <sup>2</sup>
First Floor	62.81 m <sup>2</sup>	Portico	2.45 m <sup>2</sup>
<b>Total Internal</b>	<b>106.20 m<sup>2</sup></b>	Balcony	10.90 m <sup>2</sup>
		<b>Total Home Area</b>	<b>147.41 m<sup>2</sup></b>



Floorplan shown on Lot 2655.



15.87 SQ

Tooradin 150 Mid available on Lots 2645-2646, 2654-2655, 2663-2665, 2674-2675.  
Refer to contract drawings for lot specific floorplan.







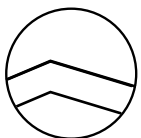
# MORE HOME. MORE VALUE.



For illustration purposes only.



Fixed site costs (no more to pay)



2550mm ceiling height  
to main living floor



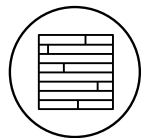
20mm Stone Composite kitchen  
& bathroom benchtops



Modern kitchen cooktop,  
oven and rangehood



Dishwasher



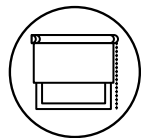
Timber look laminate flooring to  
main living area, meals, kitchen  
and entry



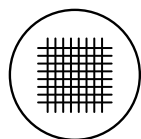
Carpet to bedrooms & staircase



LED Downlights



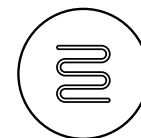
Blinds



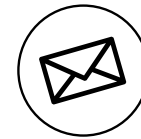
Flyscreens



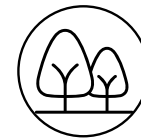
Split system to main living



Wall panel heaters to all bedrooms



Letterbox



Landscaping to front yard



# LIST OF INCLUSIONS

Outside
Garage
ROOF – Colorbond flat metal roof, plaster ceiling.
DOOR & REMOTE – Colorbond sectional overhead manual operation door with electric-powered remote-control unit to front garage door with handheld transmitters (home specific).
INFILL – Brick infills, rendered Hebel® aerated concrete infills, lightweight cladding infills (home specific).
EXTERNAL WALLS – Brick veneer, single skin brickwork with attached piers, rendered Hebel aerated concrete, lightweight cladding (home specific).
Pedestrian door (Home Specific)
DOOR – 2040mm high weatherproof.
DOOR FURNITURE – Canterbury Castor Entry Knobset entry set.
Internal access door (Home specific)
DOOR – Weatherproof flush panel, opening into house.
DOOR FURNITURE – Canterbury Castor Entry Knobset entry set.
Brickwork
BRICK – Refer to external colour scheme for brick type.
MORTAR – Off-white (joint profile home specific).
External Mouldings
Lightweight exterior moulding with acrylic texture coating render to all exposed surfaces (façade-specific, refer to working drawings).
Render
Acrylic texture coating render, three-coat system (façade-specific, refer to working drawings).
Cladding
Various alternative wall cladding systems are used on a house/product/façade-specific basis (refer to working drawings).
Roof
TILES – Concrete roof tiles from colour schemes (home specific).
METAL – Colorbond lower corrugated sheet roof, metal deck roof or tray deck, and Zinalume to first-floor roofs.

Roof plumbing
Colorbond metal fascia and barge, quad gutter with rectangular downpipes.
Front entry door
DOOR – Hume Newington Range ‘XN1’ 2040mm high x 820mm wide with clear glass.
DOOR SET – Canterbury Castor Entry Knobset entry set with Canterbury Orbit Deadbolt.
Insect screens
Aluminium framed fibremesh fly screens with powder-coated finish to all openable windows.
Driveway
Concrete driveway (refer to colour schemes).
Landscaping
Landscaping subject to developer/town planning requirements (refer to working drawings).
Letterbox
Freestanding lockable letterbox with render-style textured finish and stainless steel front panel with paperholder and 75mm stainless steel numerals.
Clothesline
Single folding frame wall mounted clothesline with optional post kit (refer to working drawings).
Fencing
Subject to developer/town planning requirements. Treated pine paling fence to rear and side boundaries (refer to working drawings for extent of fencing).
Concrete Paving
Coloured concrete paving to driveway, porticos, front porch, and pad under the clothesline (refer to colour schemes).
Termite treatment
Chemically treated termite management system.

LIST OF INCLUSIONS

Electrical
<b>Electrical</b>
POWERPOINTS – Double outlets throughout. Refer to working drawings.
INTERNAL LIGHT FITTINGS – LED downlights (refer to working drawings for locations). LED step lights to staircase and LED linear light to garage. Oval bunker light, black, to under stair storage if applicable.
EXTERNAL LIGHT POINTS – LED downlight to portico/entry (refer to working drawings).
SMOKE DETECTOR – Hardwired with battery backup.
EXHAUST FANS – Above all showers and to water closet without direct ventilation to outside air.
TV POINTS – Two points connected to digital antenna.
SAFETY SWITCH – RCD safety switch and circuit breakers to meter box.
Heating & Cooling
<b>Heating</b>
Rinnai electric panel heater to each bedroom.
<b>Cooling</b>
Split System to main living.
Structural
<b>Ceiling Height</b>
2550mm to main living floor and 2400mm to other floor.
<b>Framing</b>
WALLS – 90mm thick stabilised timber frame throughout.
ROOF – Stabilised timber roof trusses.
<b>Stairs (Double Storey Homes)</b>
MDF treads and risers, MDF closed stringer with gloss painted finish standard with timber framed and plaster balustrade. KDHW handrail.

Inside
<b>Doors</b>
INTERNAL DOORS – Flush panel 2040mm high.
ROBES – Sliding 2065mm (nominal) high, vinyl clad finish. Frame and vinyl from internal colour schemes.
WALK IN ROBE – No Doors: Open shelving only where no doors are indicated on working drawings Refer working drawings for standard inclusion.
WALK IN ROBE – With Doors: Vinyl sliding doors or hinged doors as for ‘Robes’ above. Refer working drawings for standard inclusion.
PANTRY, LINEN, BROOM – Flush panel, 2040mm high hinged door(s). Home specific, refer working drawings for standard inclusion.
<b>Insulation</b>
CEILING – R4.0 Glasswool batts to house only (excludes garage, outdoor room/ verandah, portico and first floor areas).
EXTERNAL WALLS – R2.0 glasswool batts (including party wall between house and garage).
<b>Draft Exclusions</b>
EXHAUST FANS – Backdraft shutter incorporated in exhaust fan.
ENTRY FRAMES – Full perimeter draft seals to all entry door frames and internal access door to garage excluding garage external pedestrian door.
<b>Shelving</b>
ROBES – One white melamine shelf and hanging rail.
WALK-IN-ROBE – One white melamine shelf and hanging rail.
PANTRY/LINEN – Four white melamine shelves.
BROOM – One white melamine shelf.
<b>Window Coverings</b>
Roller blinds to living (sheer) and bedrooms (blockout) (refer Internal Colour Scheme for finish).
<b>Internal Features</b>
SKIRTINGS – 67mm high double pencil round PMDF.
ARCHITRAVES – 42mm wide double pencil round PMDF.
CORNICE – 75mm Cove cornice throughout.
<b>Paint Work</b>
All paint colours to be selected from colour schemes.



**Kitchen**

SINK – Double bowl stainless steel sink.

TAP – Rectangular sink mixer with lever handle in chrome finish.

SPLASHBACK – Ceramic tiles to kitchen splashback as per colour schemes.

**Appliances**

OVEN – Electric black/glass 600mm wide, fan forced.

COOKTOP – Stainless steel induction, 600mm wide.

RANGEHOOD – 600mm wide stainless steel undermount rangehood. Ducted through to external air.

DISHWASHER – Stainless steel 600mm wide freestanding dishwasher.

MICROWAVE PROVISION – 600mm wide incorporated in kitchen base cupboards, including single power point. Home specific, refer working drawings.

**Cabinetry**

CUPBOARDS – Fully lined modular cupboards. Overhead cupboards. Refer to working drawings for extent.

DOORS – Soft close. Laminate from colour schemes.

HANDLES – Refer to colour schemes.

**Benchtops**

STONE – 20mm thick vitrified compact surface stone benchtop to kitchen. Refer to colour schemes.

**Bathroom, Ensuite or Powder room**

BATH – White acrylic.

SHOWER BASE – White glass fibre composite with matching waste.

SHOWER SCREENS – Semi framed with pivot door and clear laminated glass in silver trim.

TAP AND OUTLETS – Bath & Basin: Mixer lever set. Shower: Mixer lever set with a shower head on slide rail (refer to working drawings).

TOWEL RAILS – Metal single towel rail to bathroom and ensuite (house specific).

TOILET SUITE – White Vitreous China Toilet pan with White Acrylic Seat with toilet roll holder.

**Vanity**

STONE – 20mm thick vitrified compact surface stone benchtop. Refer to colour schemes.

CABINETRY – Soft close laminate doors.

MIRROR – Silver backed with polished edges, seated on vanity. Full width of vanity.

BASINS – White inset basin, semi recessed basin and / or wall basin (home specific).

**Laundry**

TROUGH AND CABINET – Stainless steel single bowl sink with concealed bypass and white metal cabinet.

TAP – Mixer lever set. Mini washing machine stop taps inside cabinet.

**Floor covering**

**Carpet**

Carpet to bedrooms, adjacent passage and stairs. Refer to working drawings for locations.

**Timber look**

Timber look flooring to the entry, adjacent passage, living, meals and kitchen areas. Refer to working drawings for locations.

**Tiles**

Ceramic floor tiles to all wet areas as per standard working drawings.

WALL TILES AND BATH HOB – Ceramic wall tiles from colour schemes to areas as per working drawing.

BALCONY TILES – Glazed Ceramic tiles with textured finish to top surface (home specific).

SKIRTING TILES – 100mm high ceramic floor or wall tiles to laundry, bathroom, ensuite, powder room(s) and W.C as per standard working drawing from internal colour schemes

# COLOUR SCHEMES



Artist impression. For illustration purposes only.

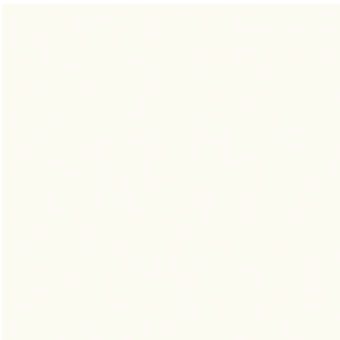


# COLOUR SCHEMES

## Almond



01/ Kitchen Overhead Cupboards  
- laminate



02/ Kitchen Base Cupboards  
- laminate



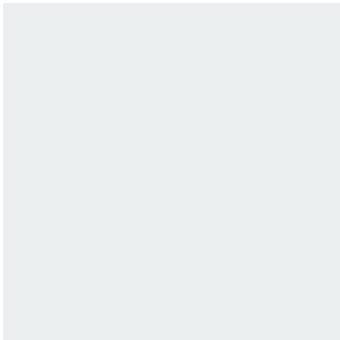
03/ Bathroom, Ensuite & Laundry  
Base Cupboards - laminate



04/ Kitchen, Bathroom, Ensuite &  
Benchtop - Reconstituted Stone



05/ Wall Tiles



06/ Internal Paint Colour



07/ Carpet



08/ Timber look laminate flooring



09/ Floor Tile



10/ Blinds

### Specification Upgrades (refer to project upgrade list and project specification)



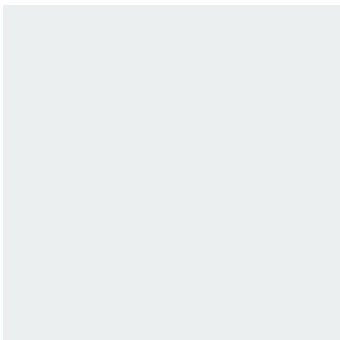
11/ Premium Carpet  
(Upgrade Option)



12/ Premium Timber Look Laminate  
Flooring (Upgrade Option)



13/ Mirror  
(Upgrade Option)



14/ Splashback  
(Upgrade Option)

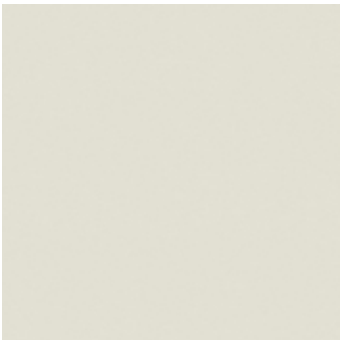
Images are for illustrative purposes only and while every effort has been made to correctly represent colours for this scheme, actual colours may vary. Materials, colours and brands are subject to availability and may be substituted if not available. Schemes may be changed without notice. For further information contact your New Home Consultant.

# COLOUR SCHEMES

## Pepper



01/ Kitchen Overhead Cupboards  
- laminate



02/ Kitchen Base Cupboards  
- laminate



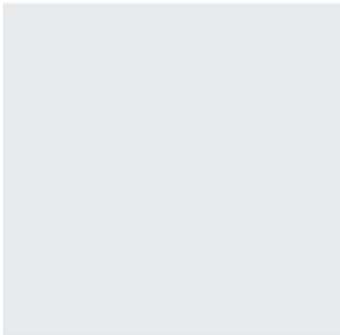
03/ Bathroom, Ensuite & Laundry  
Base Cupboards - laminate



04/ Kitchen, Bathroom, Ensuite &  
Benchtop - Reconstituted Stone



05/ Wall Tiles



06/ Internal Paint Colour



07/ Carpet



08/ Timber look laminate flooring



09/ Floor Tile



10/ Blinds

### Specification Upgrades (refer to project upgrade list and project specification)



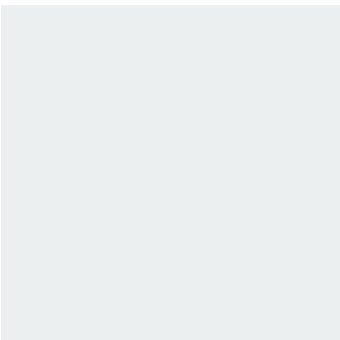
11/ Premium Carpet  
(Upgrade Option)



12/ Premium Timber Look Laminate  
Flooring (Upgrade Option)



13/ Mirror  
(Upgrade Option)



14/ Splashback  
(Upgrade Option)

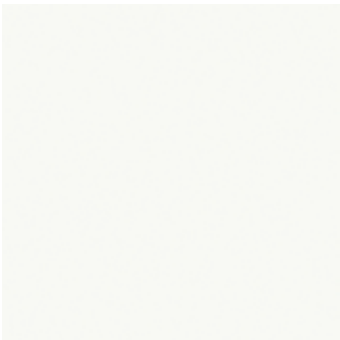
Images are for illustrative purposes only and while every effort has been made to correctly represent colours for this scheme, actual colours may vary. Materials, colours and brands are subject to availability and may be substituted if not available. Schemes may be changed without notice. For further information contact your New Home Consultant.

# COLOUR SCHEMES

## Caramel



01/ Kitchen Overhead Cupboards  
- laminate



02/ Kitchen Base Cupboards  
- laminate



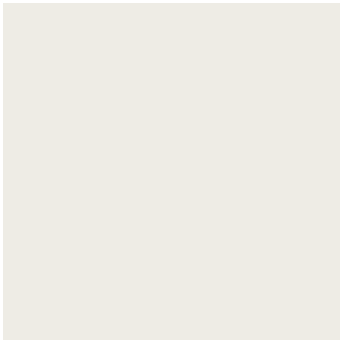
03/ Bathroom, Ensuite & Laundry  
Base Cupboards - laminate



04/ Kitchen, Bathroom, Ensuite &  
Benchtop - Reconstituted Stone



05/ Wall Tiles



06/ Internal Paint Colour



07/ Carpet



08/ Timber look laminate flooring

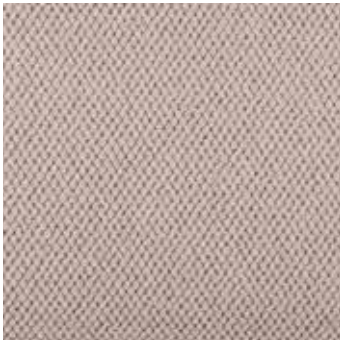


09/ Floor Tile



10/ Blinds

### Specification Upgrades (refer to project upgrade list and project specification)



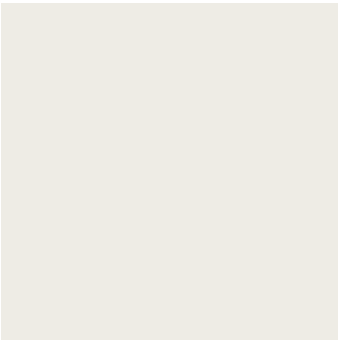
11/ Premium Carpet  
(Upgrade Option)



12/ Premium Timber Look Laminate  
Flooring (Upgrade Option)



13/ Mirror  
(Upgrade Option)



14/ Splashback  
(Upgrade Option)

Images are for illustrative purposes only and while every effort has been made to correctly represent colours for this scheme, actual colours may vary. Materials, colours and brands are subject to availability and may be substituted if not available. Schemes may be changed without notice. For further information contact your New Home Consultant.



