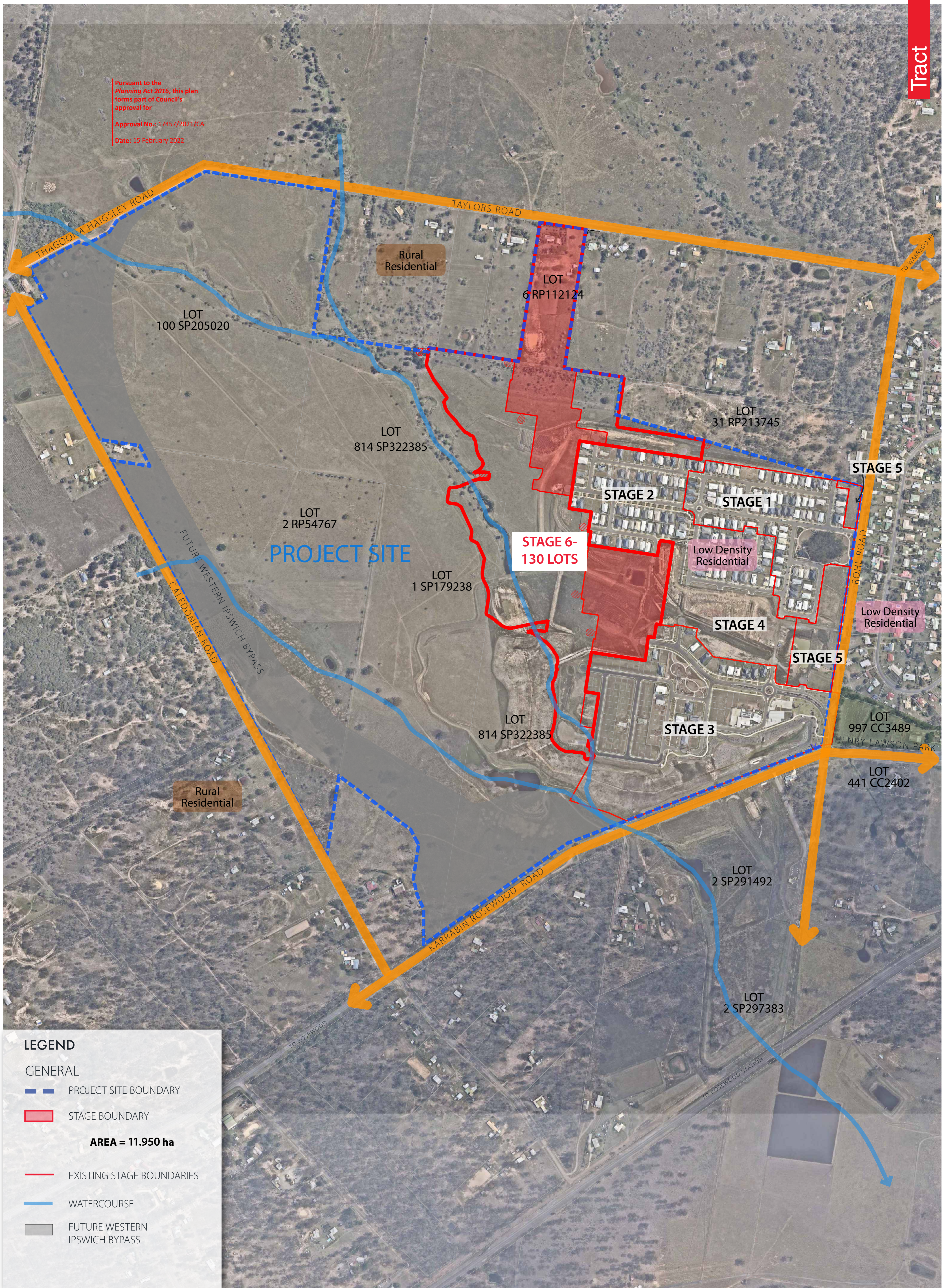


Pursuant to the Planning Act 2016, this plan forms part of Council's approval for  
Approval No.: 17457/2021/CA  
Date: 15 February 2022



**LEGEND**

**GENERAL**

PROJECT SITE BOUNDARY

STAGE BOUNDARY

**AREA = 11.950 ha**

EXISTING STAGE BOUNDARIES

WATERCOURSE

FUTURE WESTERN IPSWICH BYPASS

| Drawing Title | Project Name | Drawing No. | Revision | Date | Drawn | Checked | Project Principal | Scale |
|---------------|--------------|-------------|----------|------|-------|---------|-------------------|-------|
|---------------|--------------|-------------|----------|------|-------|---------|-------------------|-------|

CONTEXT PLAN

WATERLEA STAGE  
6- 130 LOTS

0715-0430-00-L-16-DR009

04

17.12.2021

GH

AC

MH



1:4000 (A1)



Pursuant to the Planning Act 2016, this plan forms part of Council's approval for  
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**LEGEND**

**GENERAL**

- PROPERTY BOUNDARY**
- STAGE BOUNDARY**

**YIELD**

- 450m<sup>2</sup> AND GREATER
- \* 445-449m<sup>2</sup> Lots
- 400-444m<sup>2</sup> LOTS
- 300-399m<sup>2</sup> LOTS

**TOTAL RESIDENTIAL LOTS** 130 TOTAL

BALANCE MANAGEMENT LOT 1 TOTAL

**ACCESS AND CIRCULATION**

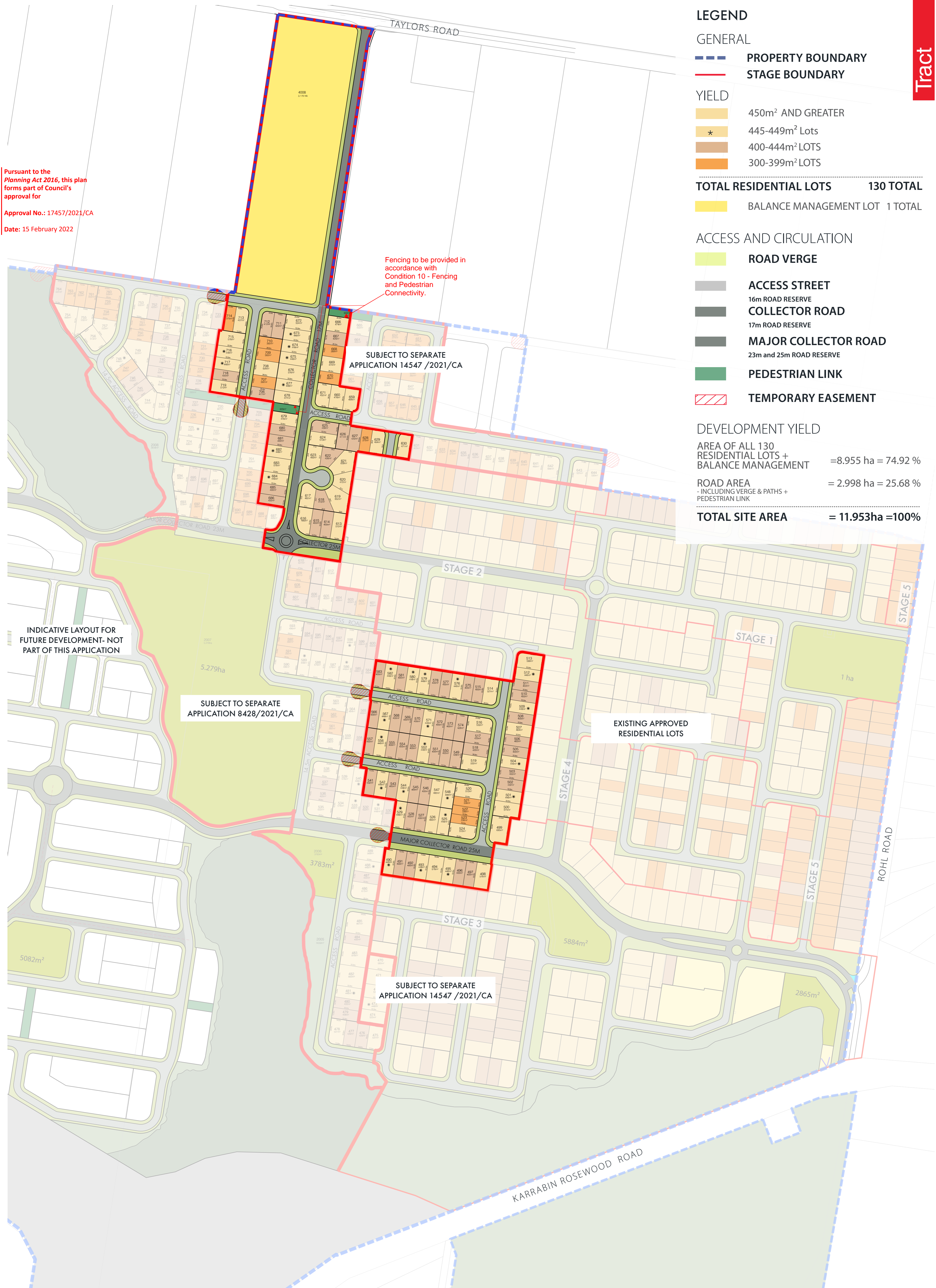
- ROAD VERGE**
- ACCESS STREET**  
16m ROAD RESERVE
- COLLECTOR ROAD**  
17m ROAD RESERVE
- MAJOR COLLECTOR ROAD**  
23m and 25m ROAD RESERVE
- PEDESTRIAN LINK**
- TEMPORARY EASEMENT**

**DEVELOPMENT YIELD**

AREA OF ALL 130 RESIDENTIAL LOTS + BALANCE MANAGEMENT = 8.955 ha = 74.92 %

ROAD AREA - INCLUDING VERGE & PATHS + PEDESTRIAN LINK = 2.998 ha = 25.68 %

**TOTAL SITE AREA** = 11.953ha = 100%



| Drawing Title | Project Name | Drawing No. | Revision | Date | Drawn | Checked | Project Principal | Scale |
|---------------|--------------|-------------|----------|------|-------|---------|-------------------|-------|
|---------------|--------------|-------------|----------|------|-------|---------|-------------------|-------|

LEGEND

GENERAL

- PROPERTY BOUNDARY
  - STAGE BOUNDARY
- YIELD
- 450m<sup>2</sup> AND GREATER
  - 445-449m<sup>2</sup> LOTS
  - 400-444m<sup>2</sup> LOTS
  - 300-399m<sup>2</sup> LOTS
  - BALANCE MANAGEMENT LOT

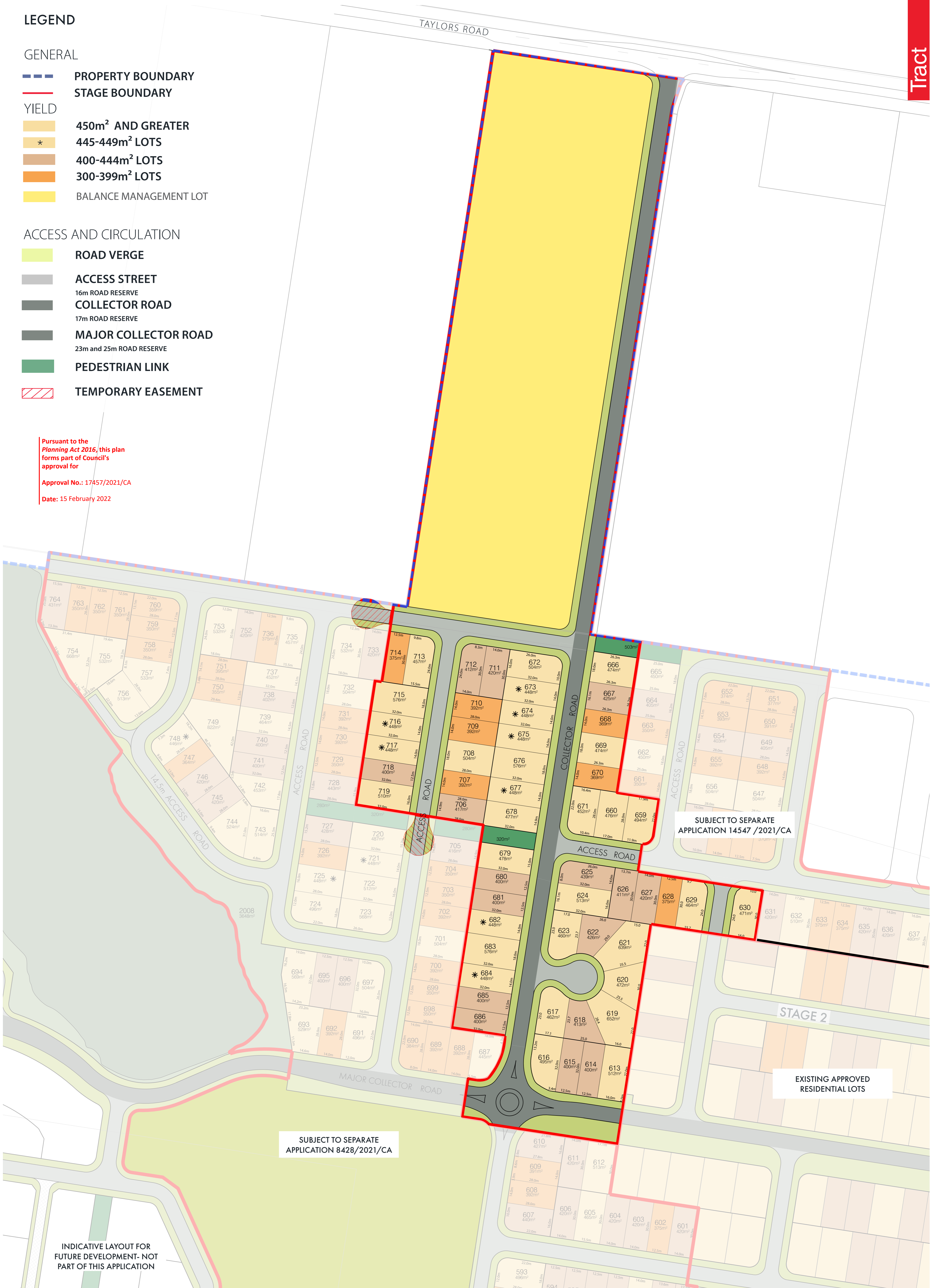
ACCESS AND CIRCULATION

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- TEMPORARY EASEMENT

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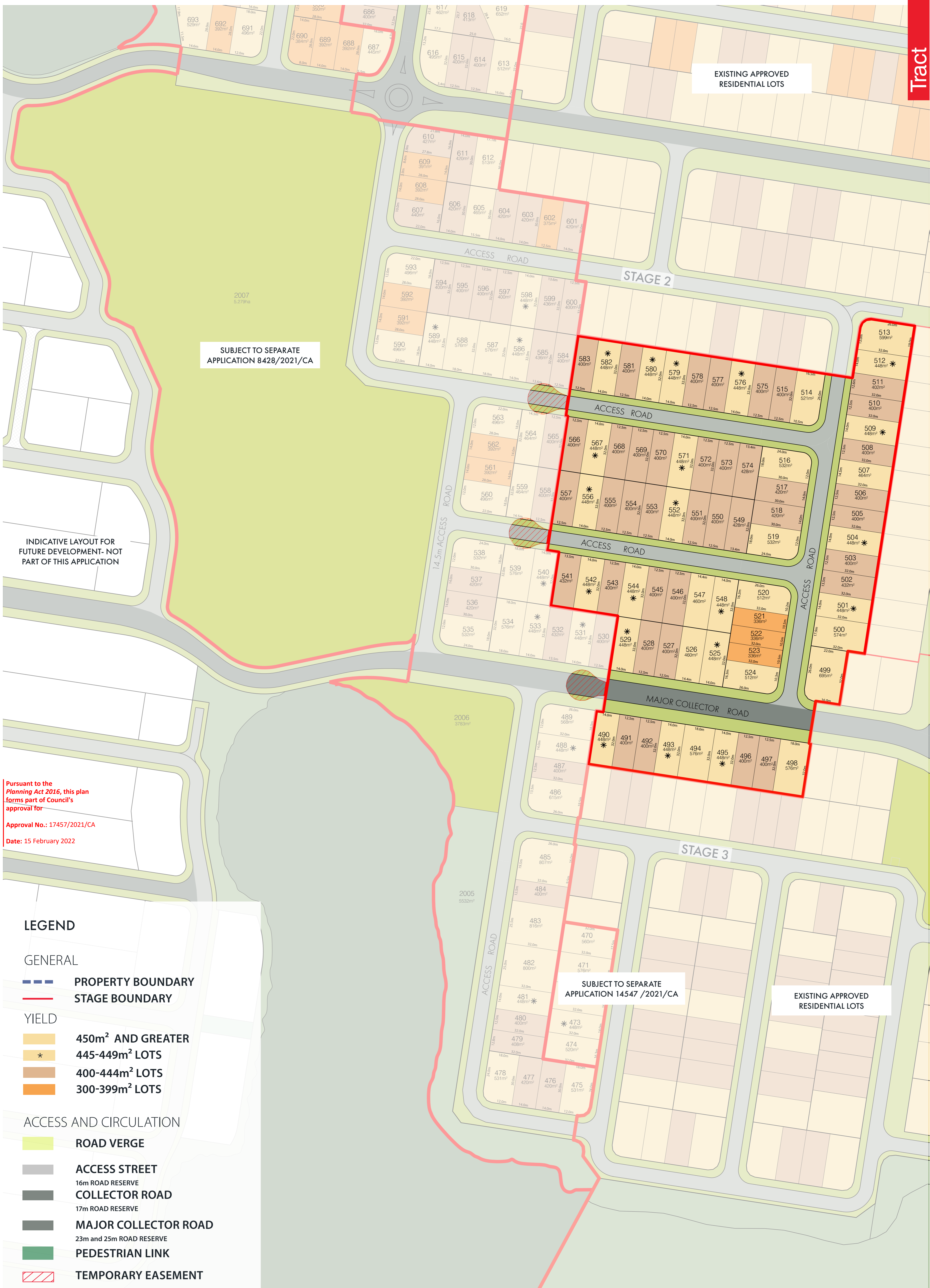
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INDICATIVE LAYOUT FOR FUTURE DEVELOPMENT- NOT PART OF THIS APPLICATION

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|---------------|--------------|-------------|----------|------|-------|---------|-------------------|-------|
|---------------|--------------|-------------|----------|------|-------|---------|-------------------|-------|



SUBJECT TO SEPARATE APPLICATION 8428/2021/CA

SUBJECT TO SEPARATE APPLICATION 14547 /2021/CA

EXISTING APPROVED RESIDENTIAL LOTS

EXISTING APPROVED RESIDENTIAL LOTS

INDICATIVE LAYOUT FOR FUTURE DEVELOPMENT- NOT PART OF THIS APPLICATION

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**LEGEND**

**GENERAL**

- PROPERTY BOUNDARY
- STAGE BOUNDARY

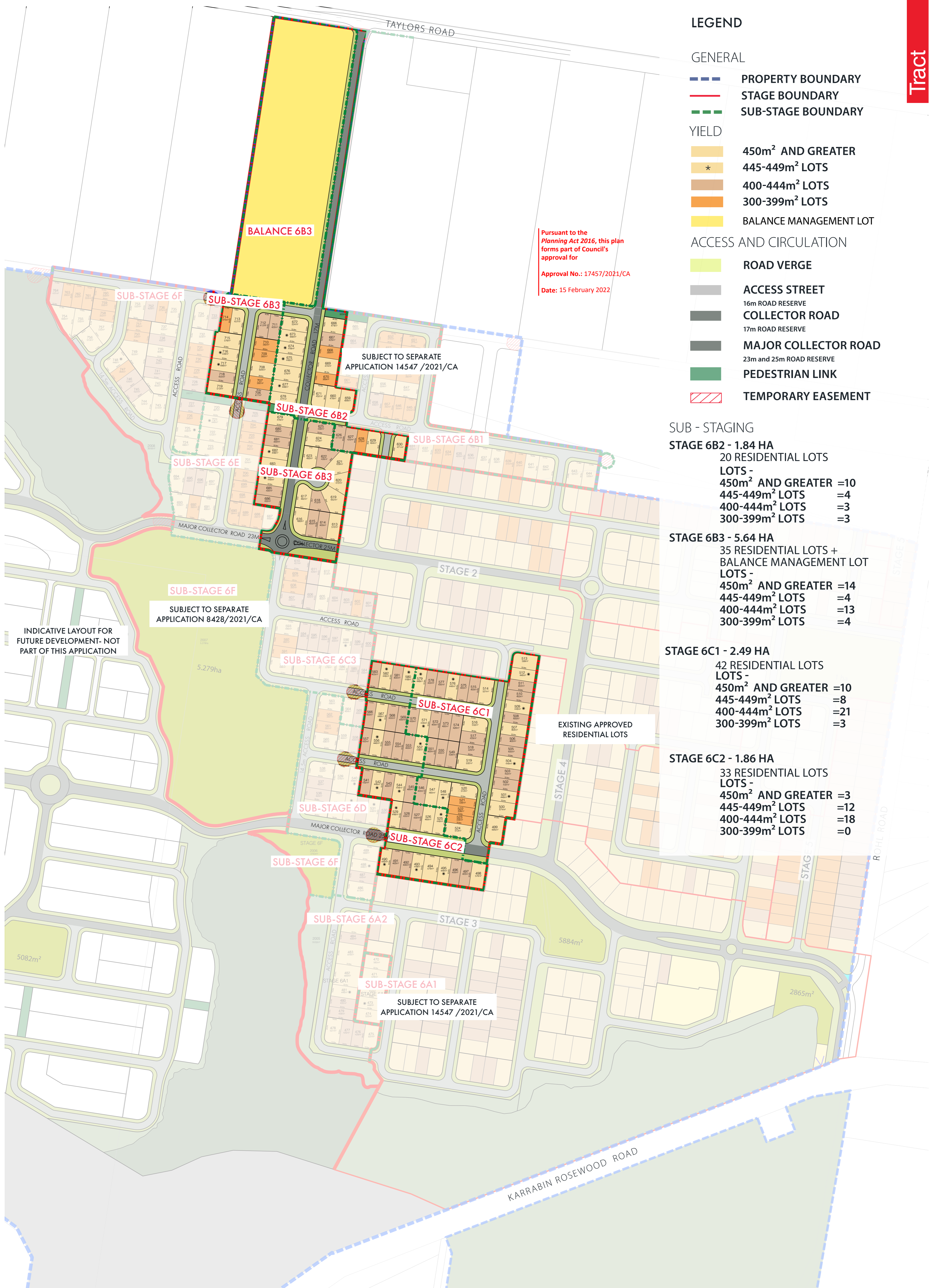
**YIELD**

- 450m<sup>2</sup> AND GREATER
- \* 445-449m<sup>2</sup> LOTS
- 400-444m<sup>2</sup> LOTS
- 300-399m<sup>2</sup> LOTS

**ACCESS AND CIRCULATION**

- ROAD VERGE
- ACCESS STREET  
16m ROAD RESERVE
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23m and 25m ROAD RESERVE
- PEDESTRIAN LINK
- TEMPORARY EASEMENT

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**LEGEND**

**GENERAL**

- PROPERTY BOUNDARY
- STAGE BOUNDARY
- SUB-STAGE BOUNDARY

**YIELD**

- 450m<sup>2</sup> AND GREATER
- \* 445-449m<sup>2</sup> LOTS
- 400-444m<sup>2</sup> LOTS
- 300-399m<sup>2</sup> LOTS
- BALANCE MANAGEMENT LOT

**ACCESS AND CIRCULATION**

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- PEDESTRIAN LINK
- TEMPORARY EASEMENT

**SUB - STAGING**

**STAGE 6B2 - 1.84 HA**  
20 RESIDENTIAL LOTS  
LOTS -  
450m<sup>2</sup> AND GREATER =10  
445-449m<sup>2</sup> LOTS =4  
400-444m<sup>2</sup> LOTS =3  
300-399m<sup>2</sup> LOTS =3

**STAGE 6B3 - 5.64 HA**  
35 RESIDENTIAL LOTS +  
BALANCE MANAGEMENT LOT  
LOTS -  
450m<sup>2</sup> AND GREATER =14  
445-449m<sup>2</sup> LOTS =4  
400-444m<sup>2</sup> LOTS =13  
300-399m<sup>2</sup> LOTS =4

**STAGE 6C1 - 2.49 HA**  
42 RESIDENTIAL LOTS  
LOTS -  
450m<sup>2</sup> AND GREATER =10  
445-449m<sup>2</sup> LOTS =8  
400-444m<sup>2</sup> LOTS =21  
300-399m<sup>2</sup> LOTS =3

**STAGE 6C2 - 1.86 HA**  
33 RESIDENTIAL LOTS  
LOTS -  
450m<sup>2</sup> AND GREATER =3  
445-449m<sup>2</sup> LOTS =12  
400-444m<sup>2</sup> LOTS =18  
300-399m<sup>2</sup> LOTS =0

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SUBJECT TO SEPARATE  
APPLICATION 14547 /2021/CA

SUBJECT TO SEPARATE  
APPLICATION 8428/2021/CA

EXISTING APPROVED  
RESIDENTIAL LOTS

SUBJECT TO SEPARATE  
APPLICATION 14547 /2021/CA

INDICATIVE LAYOUT FOR  
FUTURE DEVELOPMENT - NOT  
PART OF THIS APPLICATION

LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGE BOUNDARY
- SUB-STAGE BOUNDARY

YIELD

- 450m<sup>2</sup> AND GREATER
- \* 445-449m<sup>2</sup> LOTS
- 400-444m<sup>2</sup> LOTS
- 300-399m<sup>2</sup> LOTS
- BALANCE MANAGEMENT LOT

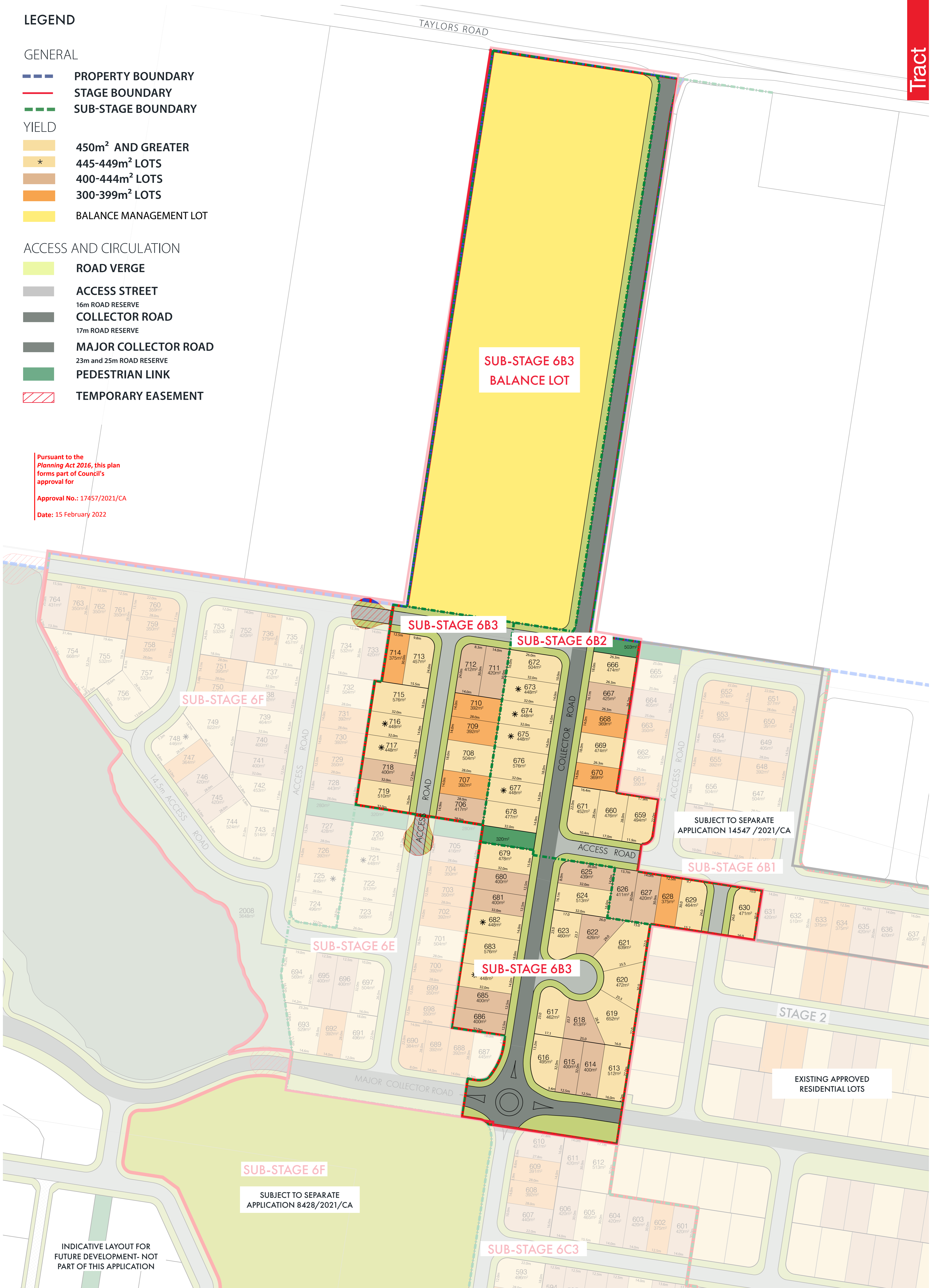
ACCESS AND CIRCULATION

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- TEMPORARY EASEMENT

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SUB- STAGING  
PLAN NORTH

WATERLEA STAGE  
6- 130 LOTS

0715-0430-00-L-16-DR009

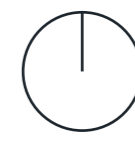
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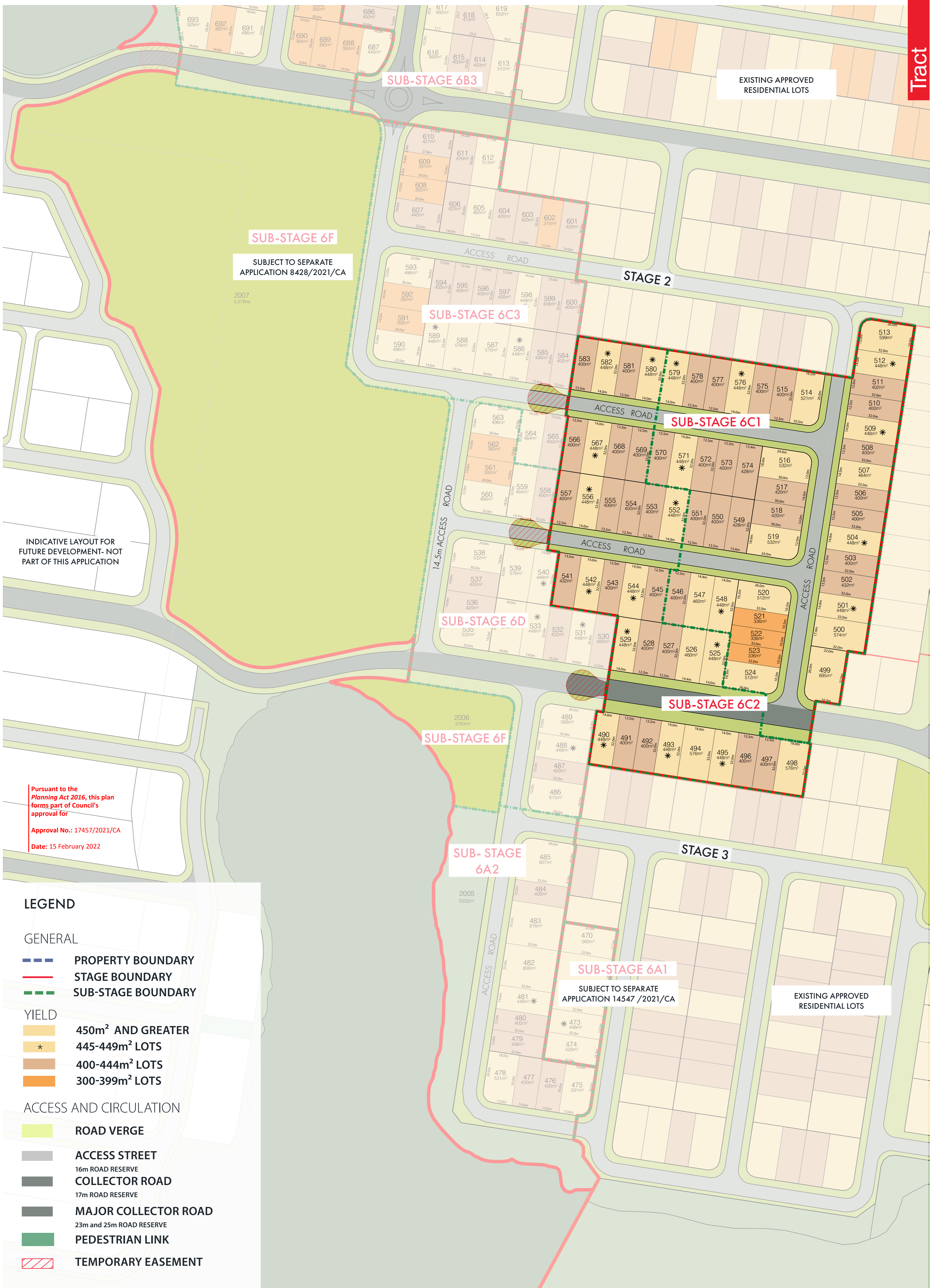
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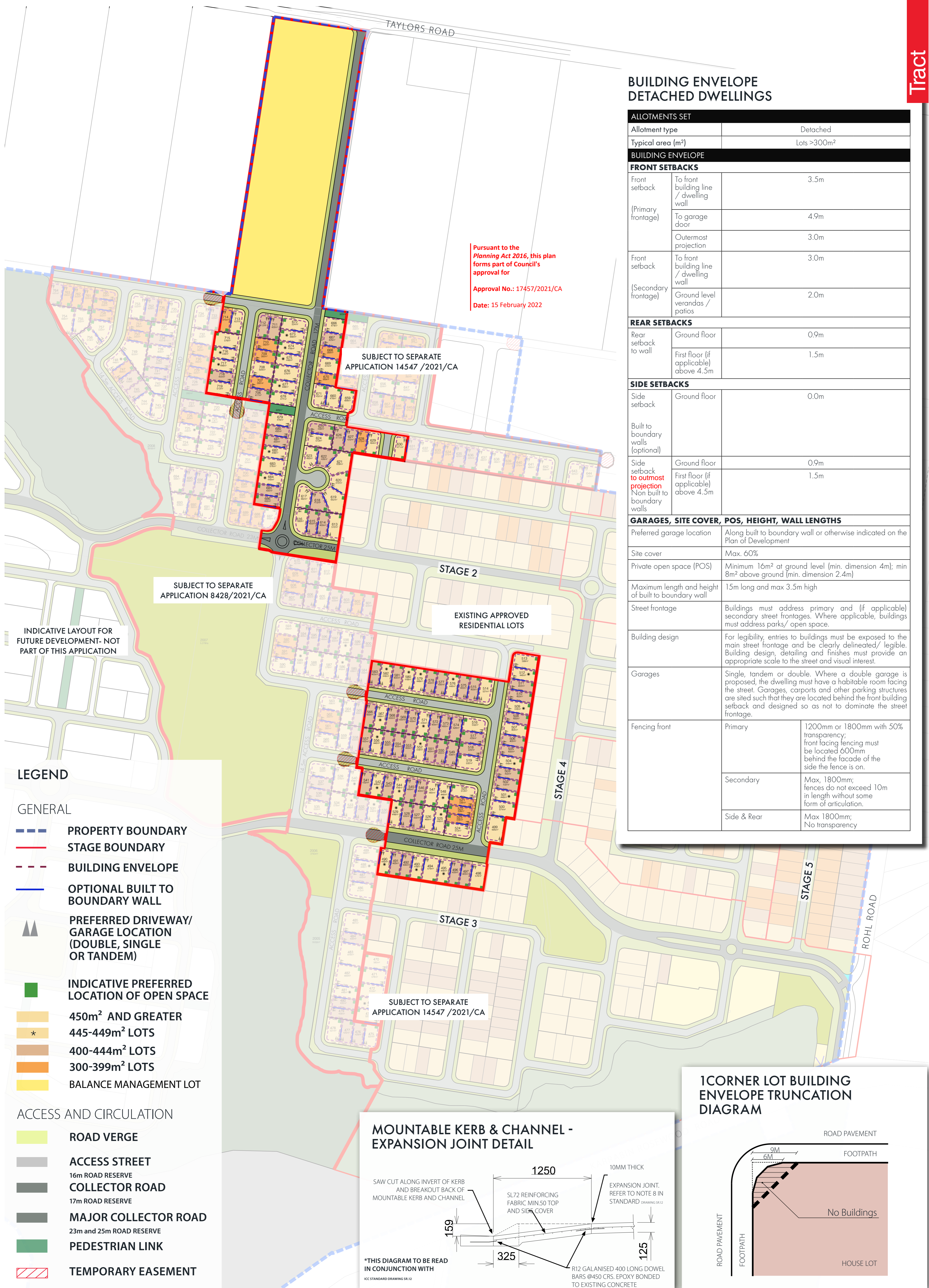
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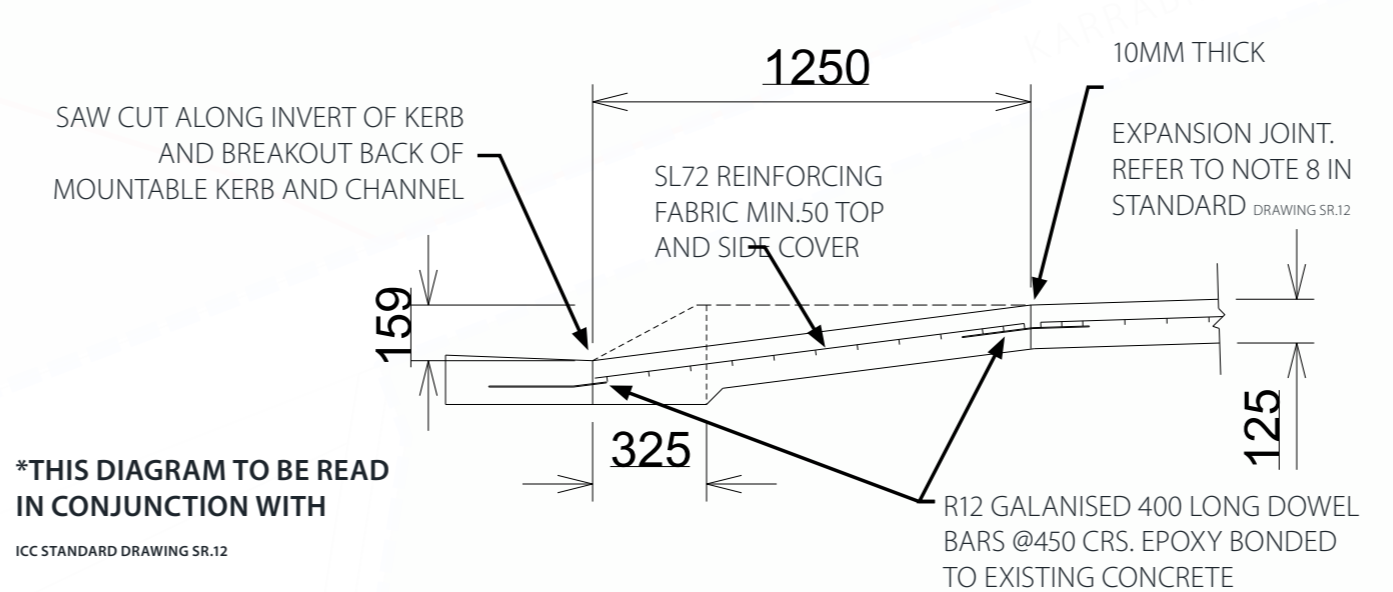
### BUILDING ENVELOPE DETACHED DWELLINGS

| ALLOTMENTS SET  |   |   |
|---|---|---|
| Allotment type  | Detached  |   |
| Typical area (m <sup>2</sup> )                                    | Lots >300m <sup>2</sup>   |   |
| BUILDING ENVELOPE   |   |   |
| FRONT SETBACKS  |   |   |
| Front setback<br>(Primary frontage)                               | To front building line / dwelling wall  | 3.5m  |
|   | To garage door  | 4.9m  |
|   | Outermost projection  | 3.0m  |
| Front setback<br>(Secondary frontage)                             | To front building line / dwelling wall  | 3.0m  |
|   | Ground level verandas / patios  | 2.0m  |
| REAR SETBACKS   |   |   |
| Rear setback to wall  | Ground floor  | 0.9m  |
|   | First floor (if applicable) above 4.5m  | 1.5m  |
| SIDE SETBACKS   |   |   |
| Side setback  | Ground floor  | 0.0m  |
| Built to boundary walls (optional)                                |   |   |
|   |   |   |
| Side setback to outmost projection<br>Non built to boundary walls | Ground floor  | 0.9m  |
|   | First floor (if applicable) above 4.5m  | 1.5m  |
| GARAGES, SITE COVER, POS, HEIGHT, WALL LENGTHS                    |   |   |
| Preferred garage location   | Along built to boundary wall or otherwise indicated on the Plan of Development  |   |
| Site cover  | Max. 60%  |   |
| Private open space (POS)  | Minimum 16m <sup>2</sup> at ground level (min. dimension 4m); min 8m <sup>2</sup> above ground (min. dimension 2.4m)  |   |
| Maximum length and height of built to boundary wall               | 15m long and max 3.5m high  |   |
| Street frontage   | Buildings must address primary and (if applicable) secondary street frontages. Where applicable, buildings must address parks/ open space.  |   |
| Building design   | For legibility, entries to buildings must be exposed to the main street frontage and be clearly delineated/ legible. Building design, detailing and finishes must provide an appropriate scale to the street and visual interest.   |   |
| Garages   | Single, tandem or double. Where a double garage is proposed, the dwelling must have a habitable room facing the street. Garages, carports and other parking structures are sited such that they are located behind the front building setback and designed so as not to dominate the street frontage. |   |
| Fencing front   | Primary   | 1200mm or 1800mm with 50% transparency; front facing fencing must be located 600mm behind the facade of the side the fence is on. |
|   | Secondary   | Max, 1800mm; fences do not exceed 10m in length without some form of articulation.  |
|   | Side & Rear   | Max 1800mm; No transparency   |

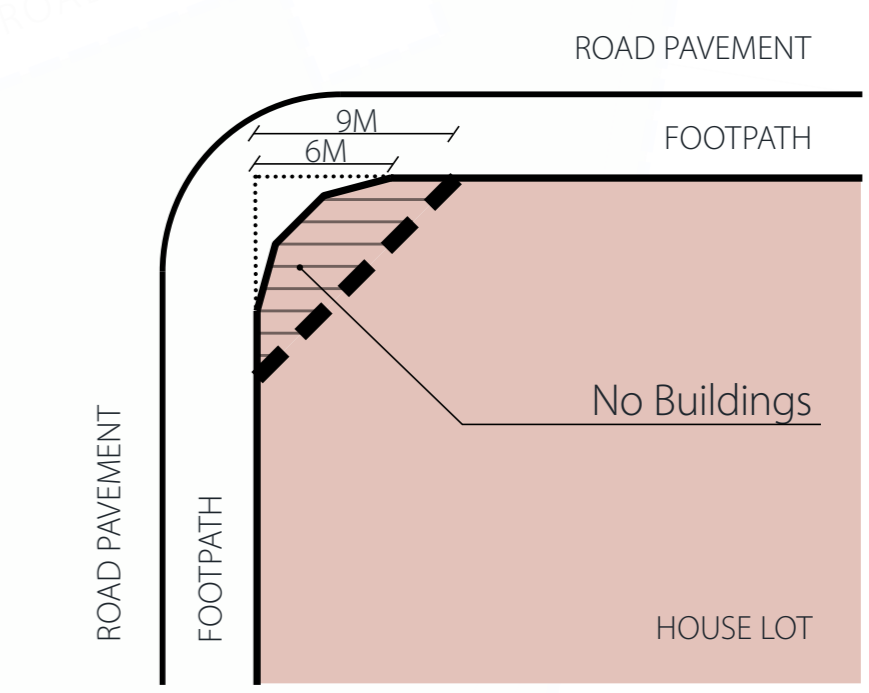
### LEGEND

- GENERAL**
- PROPERTY BOUNDARY
  - STAGE BOUNDARY
  - BUILDING ENVELOPE
  - OPTIONAL BUILT TO BOUNDARY WALL
  - PREFERRED DRIVEWAY/ GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)
  - INDICATIVE PREFERRED LOCATION OF OPEN SPACE
  - 450m<sup>2</sup> AND GREATER
  - \* 445-449m<sup>2</sup> LOTS
  - 400-444m<sup>2</sup> LOTS
  - 300-399m<sup>2</sup> LOTS
  - BALANCE MANAGEMENT LOT
- ACCESS AND CIRCULATION**
- ROAD VERGE
  - ACCESS STREET  
16m ROAD RESERVE
  - COLLECTOR ROAD  
17m ROAD RESERVE
  - MAJOR COLLECTOR ROAD  
23m and 25m ROAD RESERVE
  - PEDESTRIAN LINK
  - TEMPORARY EASEMENT

### MOUNTABLE KERB & CHANNEL - EXPANSION JOINT DETAIL



### 1CORNER LOT BUILDING ENVELOPE TRUNCATION DIAGRAM





LEGEND

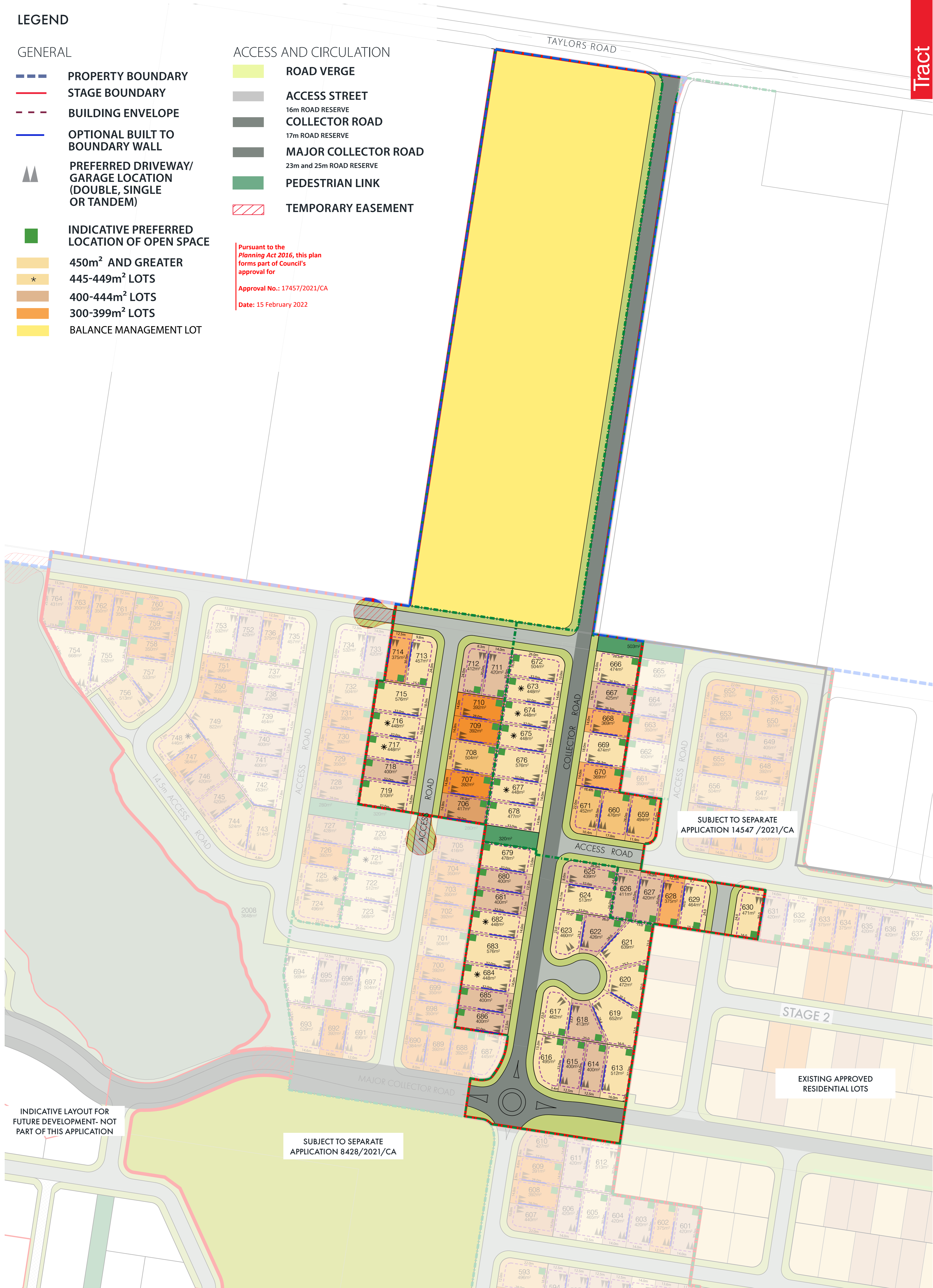
GENERAL

- PROPERTY BOUNDARY
- STAGE BOUNDARY
- BUILDING ENVELOPE
- OPTIONAL BUILT TO BOUNDARY WALL
- ▲▲ PREFERRED DRIVEWAY/ GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)
- INDICATIVE PREFERRED LOCATION OF OPEN SPACE
- 450m<sup>2</sup> AND GREATER
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- 300-399m<sup>2</sup> LOTS
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ACCESS AND CIRCULATION

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SUBJECT TO SEPARATE APPLICATION 8428/2021/CA

EXISTING APPROVED RESIDENTIAL LOTS

INDICATIVE LAYOUT FOR FUTURE DEVELOPMENT - NOT PART OF THIS APPLICATION

SUBJECT TO SEPARATE APPLICATION 14547 /2021/CA

EXISTING APPROVED RESIDENTIAL LOTS

**LEGEND**

**GENERAL**

- PROPERTY BOUNDARY
- STAGE BOUNDARY
- BUILDING ENVELOPE
- OPTIONAL BUILT TO BOUNDARY WALL
- PREFERRED DRIVEWAY/ GARAGE LOCATION (DOUBLE, SINGLE OR TANDEM)
- INDICATIVE PREFERRED LOCATION OF OPEN SPACE
- 450m<sup>2</sup> AND GREATER
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**ACCESS AND CIRCULATION**

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**LEGEND**

**GENERAL**

- PROPERTY BOUNDARY**
- STAGE BOUNDARY**
- BALANCE MANAGEMENT LOT**

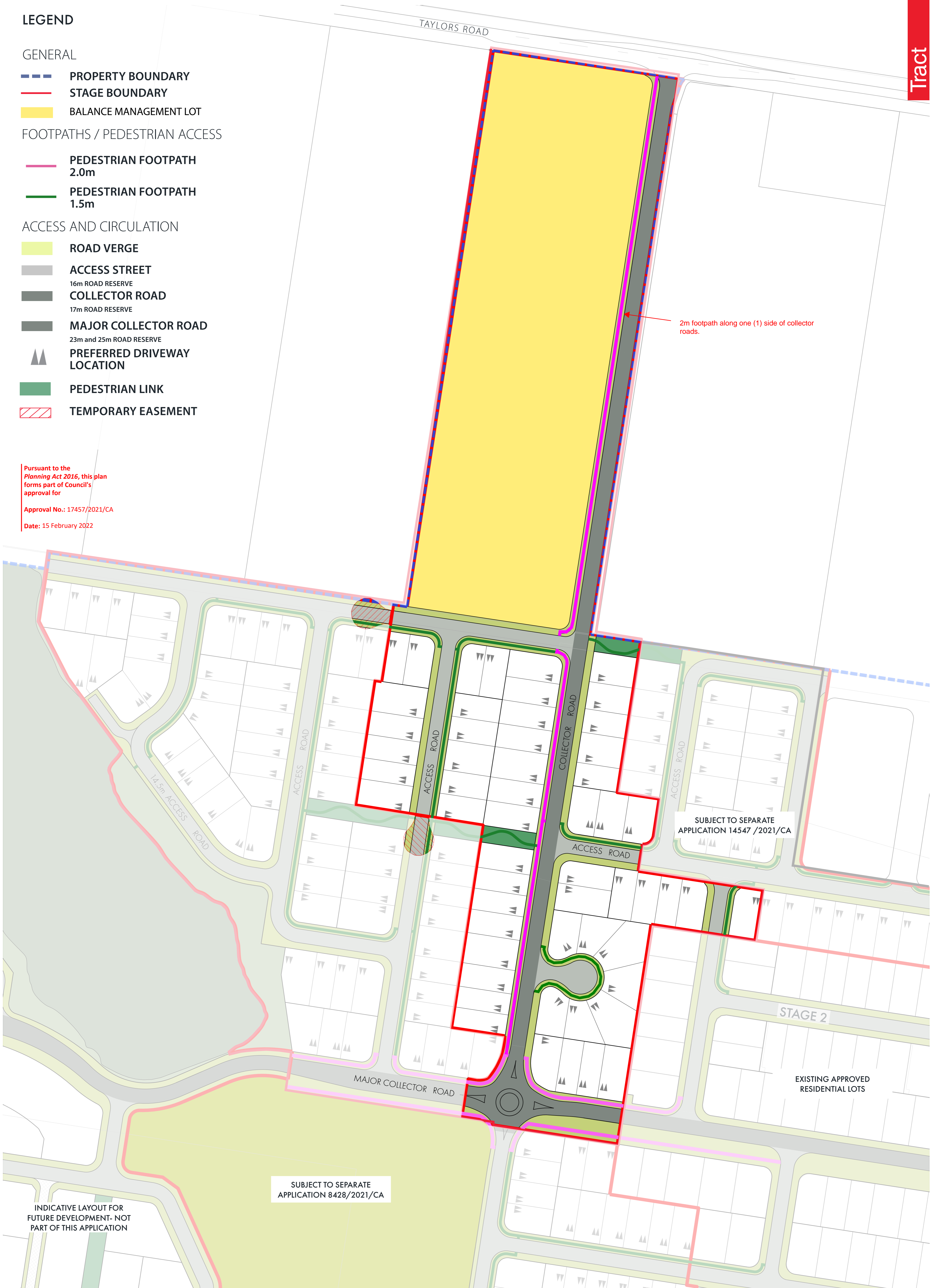
**FOOTPATHS / PEDESTRIAN ACCESS**

- PEDESTRIAN FOOTPATH 2.0m**
- PEDESTRIAN FOOTPATH 1.5m**

**ACCESS AND CIRCULATION**

- ROAD VERGE**
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|               |              |             |          |      |       |         |                   |       |
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**FOOTPATH + ROAD HIERARCHY NORTH**

WATERLEA STAGE 6- 130 LOTS

0715-0430-00-L-16-DR009

04

17.12.2021

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AC

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1:1000 (A1)



LEGEND








GENERAL

-  PROPERTY BOUNDARY
-  STAGE BOUNDARY
-  BALANCE MANAGEMENT LOT

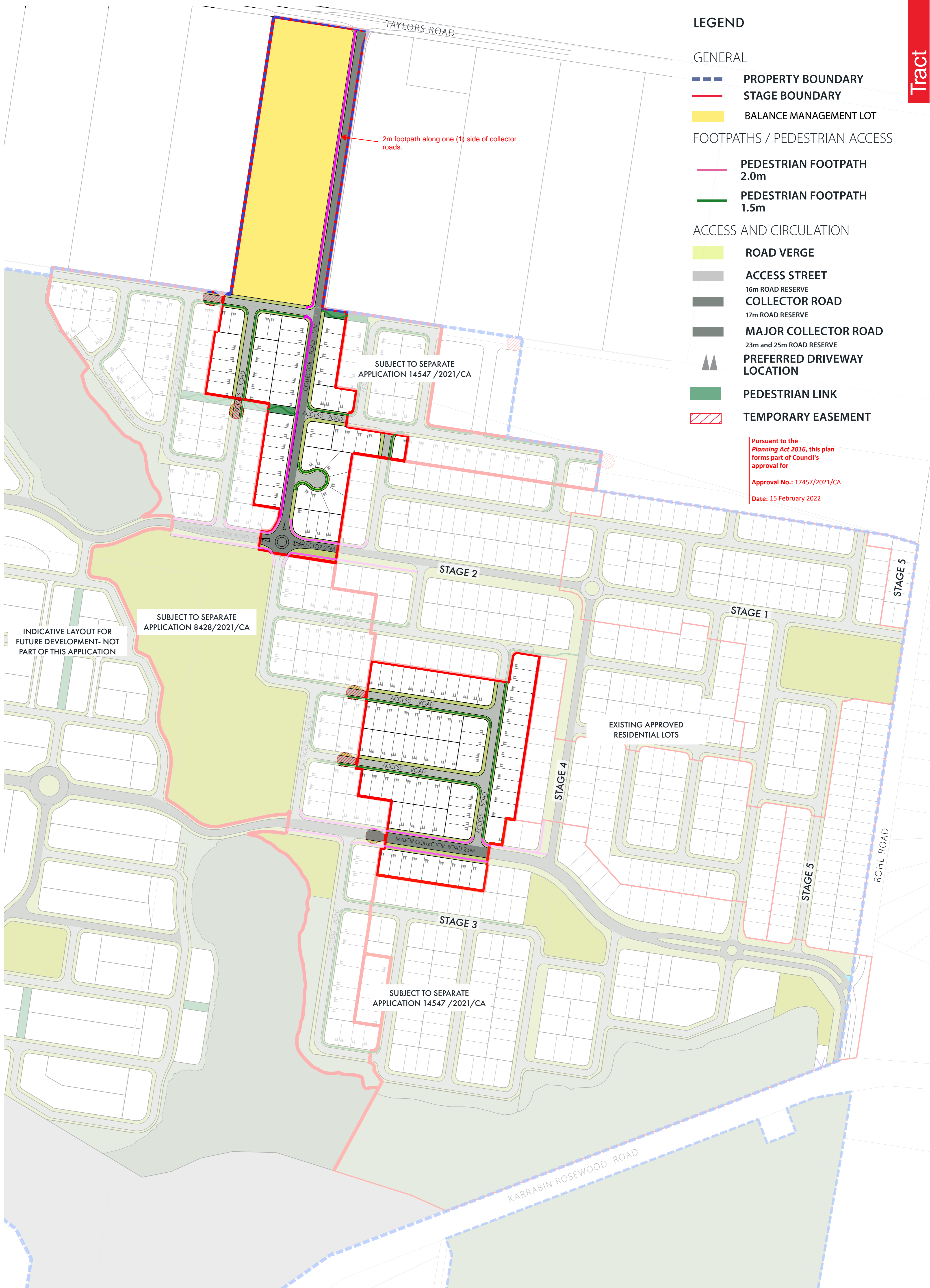
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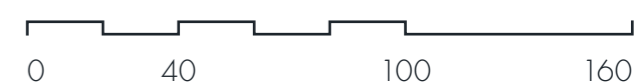
ACCESS AND CIRCULATION

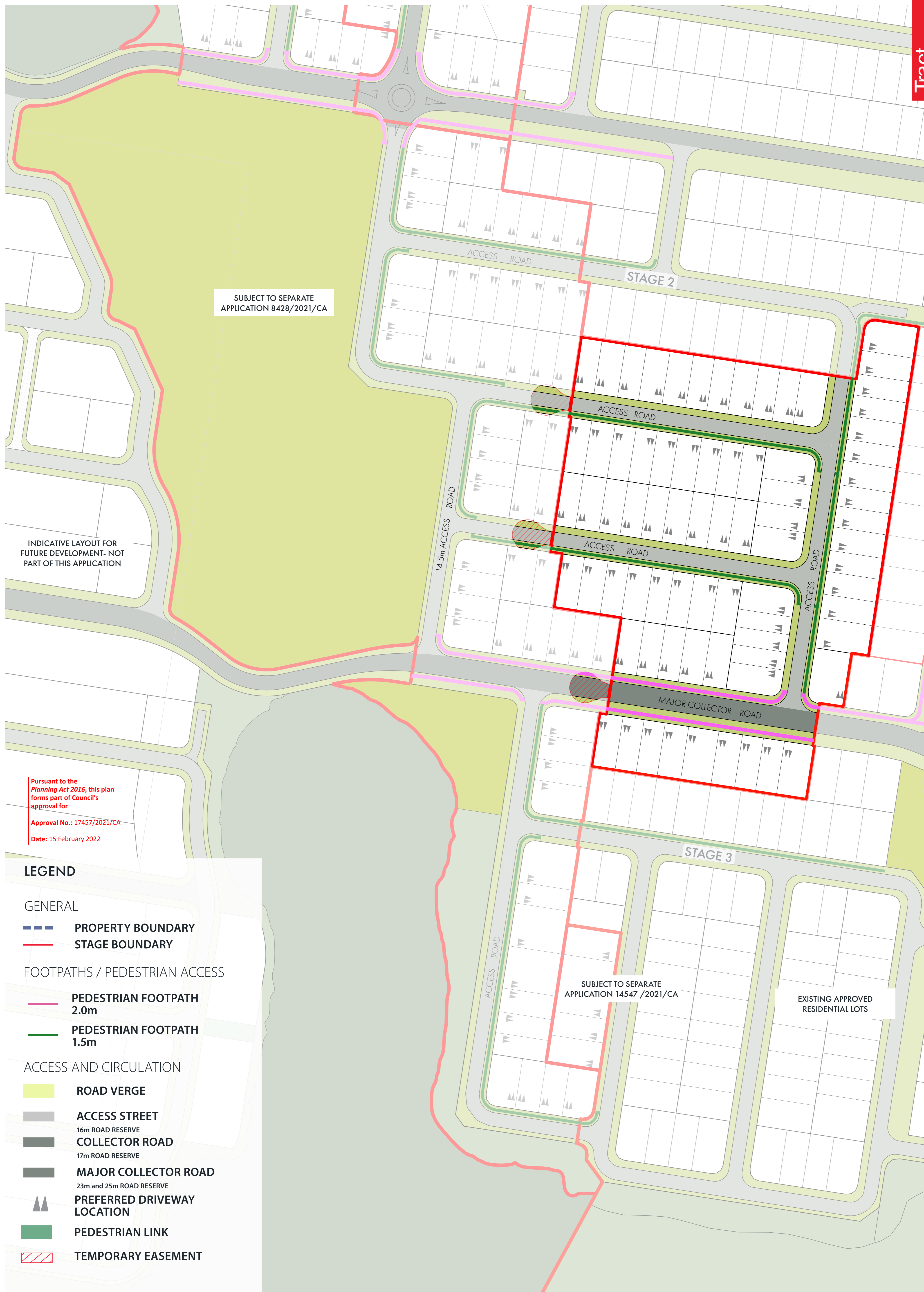
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FOOTPATHS / PEDESTRIAN ACCESS

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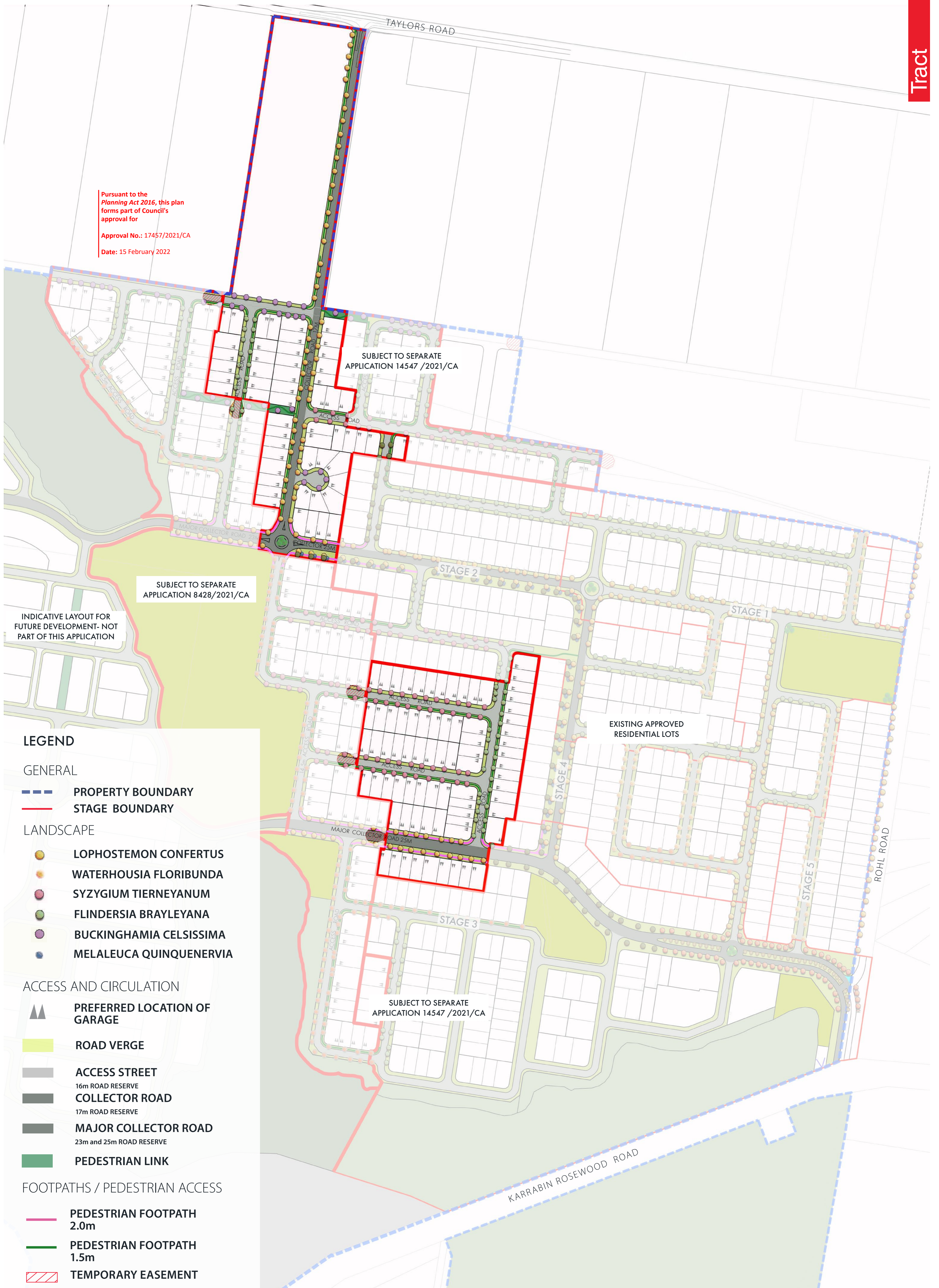
SUBJECT TO SEPARATE APPLICATION 14547 /2021/CA

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LEGEND

GENERAL

- PROPERTY BOUNDARY
- STAGE BOUNDARY

LANDSCAPE

- LOPHOSTEMON CONFERTUS
- WATERHOUSIA FLORIBUNDA
- SYZYGIUM TIERNEYANUM
- FLINDERSIA BRAYLEYANA
- BUCKINGHAMIA CELSISSIMA
- MELALEUCA QUINQUENERVIA

ACCESS AND CIRCULATION

- ▲ PREFERRED LOCATION OF GARAGE
- ROAD VERGE
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LEGEND

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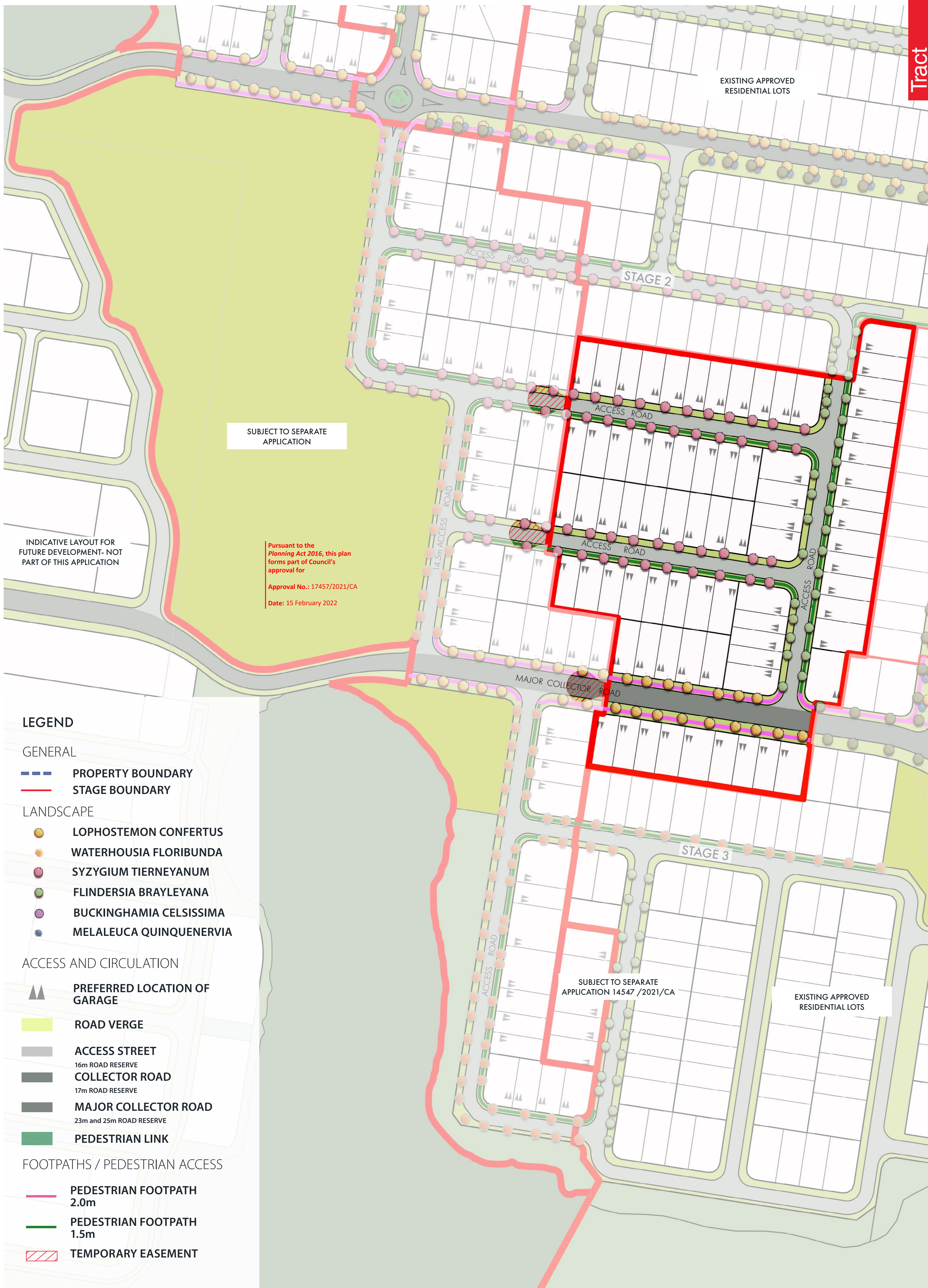
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**LEGEND**

**GENERAL**

- **PROPERTY BOUNDARY**
- **STAGE BOUNDARY**

**LANDSCAPE**

- **LOPHOSTEMON CONFERTUS**
- **WATERHOUSIA FLORIBUNDA**
- **SYZYGIVM TIERNEYANUM**
- **FLINDERSIA BRAYLEYANA**
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- **MELALEUCA QUINQUENERVIA**

**ACCESS AND CIRCULATION**

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23m and 25m ROAD RESERVE
- PEDESTRIAN LINK**

**FOOTPATHS / PEDESTRIAN ACCESS**

- PEDESTRIAN FOOTPATH**  
2.0m
- PEDESTRIAN FOOTPATH**  
1.5m
- TEMPORARY EASEMENT**