



QUALITY STANDARD INCLUSIONS

FIXED
GUARANTEE
PRICE

100%
TURNKEY



WINNER 2024
Gold Coast / Northern Rivers
Project Home of the Year



WINNER 2024
Gold Coast / Northern Rivers
Project Home
Up to \$500,000



WINNER 2023
HIA Queensland
Emerging Builder



WINNER 2023
Gold Coast / Northern Rivers
Project Home
Up to \$500,000

When building you want to be **confident** that everything you need is included in your new home.



2740MM CEILING HEIGHT*



DUCTED AIR CONDITIONING



LITHOSTONE® BENCHTOPS



600 X 600MM TILES OR
TIMBER LOOK FLOORING



LANDSCAPING, DRIVEWAY
AND FENCING



PLUS MUCH MORE! *REFER TO DETAILED SCHEDULE

KITCHEN INCLUSIONS



FIXTURES AND FINISHES

- 2 Pac gloss, matt, or timber look cabinetry (optional upgrade) with soft close hinges and finger pull doors and drawers (no handles) with bulkhead, overhead cupboards and microwave recess
- 20mm Lithostone® benchtops with breakfast bar
- 900mm upright freestanding stainless steel electric cooktop and oven
- Undermount rangehood built in to overhead cabinetry
- Window or tiled splashback
- Stainless steel dishwasher
- Single fridge water connection

SINKS & TAPWARE

- Flickmixer gooseneck tapware – chrome/satin plated
- Stainless steel 1 ½ bowl undermount sink



KITCHEN INCLUSIONS



KITCHEN SINK MIXER
AC HUSS GOOSENECK SINK
MIXER CHROME



KITCHEN SINK
EURO HELSINKI
1.75 UNDER COUNTER SINK



COOKTOP & OVEN
TECHNIKA 900MM UPRIGHT
STAINLESS STEEL ELECTRIC
COOKTOP AND OVEN IN ONE



UNDERMOUNT RANGEHOOD
TECHNIKA 900MM CONCEALED
UNDERMOUNT RANGEHOOD

DISHWASHER
BELISSIMO BY TECHNIKA
600MM DISHWASHER



LIVING INCLUSIONS



FLOORING

- Selection of 600 x 600 porcelain tiling to entry, kitchen, pantry, living zones and wet areas OR vinyl plank timber flooring upgrade option to entry, kitchen, pantry and living zones
- Quality Nylon or equivalent carpet to all bedrooms and/or living as per plans and builders range selected colour scheme

ELECTRICAL

- Lighting – White fitted LED lights as per electrical plan
- External lighting – porch, alfresco and front of garage
- Double power points to all internal living areas as shown on plan
- Single power points to garage and kitchen
- Ducted air conditioning
- Air-con isolator on external wall
- 1 telephone point
- TV Antenna (if not in a Smartwire – OptiComm or Telstra Velocity area)
- RCD Safety switch
- 2 TV Points
- 2 Data Points
- White ceiling fans to all bedrooms, living and alfresco as shown on plans
- Hot Water Heat Pump
- External power point to service hot water system
- Exhaust fan to toilets where shown on plans
- Smoke alarms to all bedrooms and applicable internal areas to conform with legislation at time of Building Approval

LIVING INCLUSIONS



3 Coat Paint System

2740mm Ceiling Height to ground level

Vinyl Plank Flooring (optional upgrade)

1200mm Wide Entry Door



Overhead Shelf

Hanging Rail

Wardrobe Shelving

Roller Blinds

Mirrored Robes

CEILINGS AND FIXTURES

- 2740mm ceilings
- Architrave 66mm x 11mm and Skirting 66mm x 11mm
- 90mm cornice
- Ceilings and walls 10mm plasterboard
- Wet area walls 6mm villa board or 10mm waterproof plaster board

PAINT

- Internal 3 coat paint system (1 coat of sealer and 2 coats of colour)
- Custom colour scheme if requested
- White colour finish to all ceilings and cornice
- White internal walls premium sealer and professional low sheen
- Doors – Aquanamel as per selected colour scheme
- Architraves, skirting and all doors are full gloss as per selected colour scheme

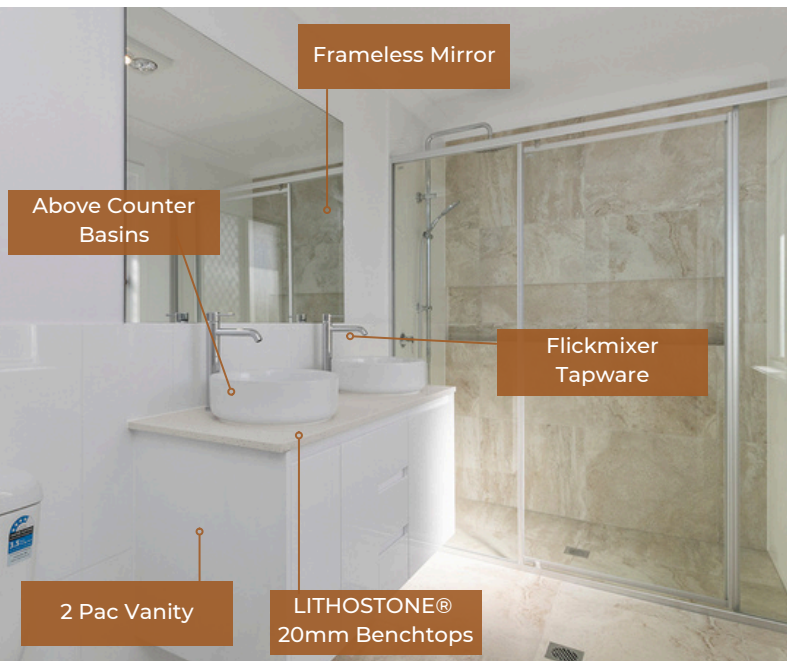
ROBES AND LINEN

- Vinyl robe doors with brushed aluminium frame to robes in living areas, and mirrored robes to bedrooms
- Shelving: overhead shelf, hanging rail and set of pigeon hole cupboards to all robes, 2 to master, 4 shelves to linen and walk in pantry, if a broom cupboard is provided a single overhead shelf is to be installed

INTERNAL DOORS AND HANDLES

- Roller blinds to all clear glazed windows and sliding doors
- Brushed silver Gainsborough/Lanes/Lockwood or equivalent door hardware with privacy to master and wet areas
- Door stops and/or clips to all swing doors
- Hume redicote flush finish pre-hung with chrome or satin hinges to internal doors

ENSUITE AND BATHROOM INCLUSIONS

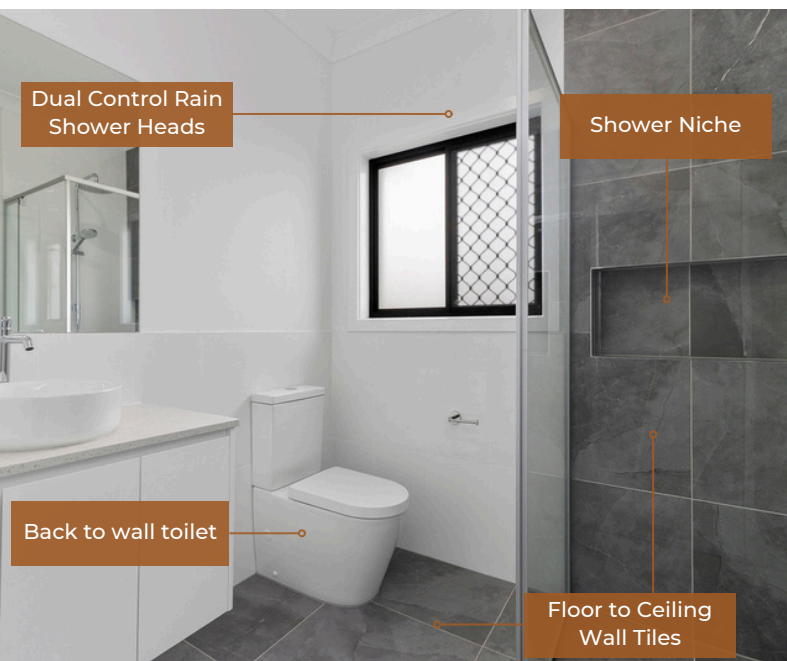


VANITY

- Cabinetry – 2 Pac gloss wall hung vanity
- Solid soft close doors
- 20mm Lithostone® benchtops
- Frameless mirror to width of vanity

BASINS AND TAPWARE

- Above counter basins to bathrooms
- Flickmixer tapware to shower/bath and vanity



SHOWER

- Shower screen – clear laminated in powder coated aluminium surround. Pivot or sliding door
- Built in niches to showers
- Floor to ceiling wall tiles to showers
- Upgraded shower heads (dual control rain heads)

BATH

- Built in and tiled bath hob
- Drop in acrylic white bathtub to bathroom only

THE DETAILS

- 3-in-1 Tastic heat lamp with light and exhaust as per plan
- White 4 star nano coated wall faced suite toilet with soft close seat where shown on plan
- Chrome double towel rail to bathroom and ensuite from builders range as per plan
- Chrome toilet holder adjacent each toilet from builders range as per plan
- Feature tile option includes running floor tile up a selected wall in the showers, as well as up and over the bath hob as per plan
- Tiling to wet area walls is floor to ceiling in showers and 1100mm to the remaining walls in bathroom and ensuite



ENSUITE AND BATHROOM INCLUSIONS



SHOWER
FIENZA KAYA TWIN
SHOWER CHROME



BATH OUTLET
IKON HALI STRAIGHT
BATH OUTLET CHROME



BATHROOM BASIN
ESSENCE ROUND
COUNTER TOP BASIN
WHITE



TOILET
FRANZ ASHFORD
RIMLESS WALL FACE
TOILET SUITE NANO



BASIN MIXER
IKON HALI HIGH RISE
BASIN MIXER CHROME



SHOWER/BATH MIXER
IKON HALI SHOWER/BATH
MIXER CHROME



BATH
DECINA BAMBINO BATH
WHITE

LAUNDRY INCLUSIONS



FIXTURES AND FINISHES

- 2 Pac gloss cabinetry to laundry to match the kitchen
- 20mm Lithostone® benchtops

SINKS & TAPWARE

- Drop in 35L or 45L stainless steel tub
- Flickmixer gooseneck tapware – chrome/satin plated



LAUNDRY SINK

EURO WASHINGTON
SQUARE UNDER COUNTER SINK



LAUNDRY SINK MIXER

AC HUSS GOOSENECK SINK
MIXER CHROME

EXTERNAL INCLUSIONS



WINDOWS AND DOORS

(Design and facade specific)

- Hinged front entry door – 1200mm x 2100mm Hume range with frosted glass panels, painted in accordance with selected colour scheme and manufactures specification
- Hinged rear door (if depicted on plans) to be 1/3 Glass Duracote Temp Glass, painted in accordance with selected colour scheme and manufacturers specification
- Aluminium powder coated windows and doors, obscured to wet areas unless street and/or park facing
- Aluminium powder coated screen with frame and plastic fly mesh to all openable sides of sliding doors and windows

EXTERNAL CLADDING

(Design and facade specific)

- Brick rendered and/or cladding external walls with feature cladding

- Windows and doors to have fibre cement cladding and/or beading above where required unless otherwise noted on elevations
- Locks to all windows and sliding doors

ROOFING AND GARAGE

(Design and facade specific)

- Roof material COLORBOND® (from standard builders selection)
- COLORBOND® fascia, gutter & PVC painted downpipes as per plan
- COLORBOND® automatic wide panel lift lock up garage door with 2 remotes
- Soffit/eave lining 4.5mm fibre cement sheet
- 31 x 11 finger joint beading to seal eaves and wall joint

EXTERNAL INCLUSIONS



FRAME

- To be constructed in accordance with current Building Regulations, National Construction Code and Australian Standards
- Timber Frame and Trusses to be erected in accordance with current National Construction Code and Australian Standards N2/N3 wind rating unless alternative wind rating specified by structural engineer/certifier
- 2740mm ceiling height to ground level/ 2440mm to upper levels as indicated on architectural working drawings
- Building structure to meet building classification
- Termite treatment – perimeters and penetrators as per Australian Standards
- Site cut and fill where required to a maximum of 500mm (cut & fill)
- Footings and/or screw piers and slab and/or suspended floor constructed depending on site conditions to engineers specifications
- Building Services Authority Insurance (6 years 6 months' structural warranty from commencement date as per QBCC New Home Warranty)
- 12 Month maintenance period from date of handover.
- Developer Covenant Approval – minor design amendment may need to be made to the roof, external finish and colours to gain approval

PRELIMINARIES

- Council/Certifier Building approval to current Legislation Standards. Architectural Drawings may require minor modifications to gain approval.
- Council plumbing approval to current Legislation Standards
- Energy efficiency compliance to National Construction Code

EXTERNAL INCLUSIONS



ALFRESCO

(Design and facade specific)

- Under roof alfresco with exposed aggregate

LANDSCAPING

- Turf/pebble and or mulch to site where possible with a garden bed to front

DRIVEWAY

- Exposed aggregate driveway
- Exposed aggregate alfresco and front porch

FENCING

- Timber paling fencing to rear, sides and returns where no existing fence provided to site
- Fence to include 1 single gate with timber paling finish
- Pine and/or face brick rendered feature posts to porch where applicable

OTHER FINISHES

- Wall or fence mounted clothesline
- Mail box with applicable street number to match home

SPECIFICATIONS OF WORKS

PRELIMINARIES & APPROVALS

- Council/Certifier Building approval to current Legislation Standards. Architectural Drawings may require minor modifications to gain approval
- Council plumbing approval to current Legislation Standards
- Energy efficiency compliance to National Construction Code
- Building structure to meet building classification
- Termite treatment – perimeters and penetrators as per Australian Standards
- Site cut and fill where required to a maximum of 500mm (cut & fill)
- Footings and/or screw piers and slab and/or suspended floor constructed depending on site conditions to engineers specifications
- Building Services Authority Insurance (6 years 6 months' structural warranty from commencement date as per QBCC New Home Warranty)
- 12 Month maintenance period from date of handover
- Developer Covenant Approval – minor design amendment may need to be made to the roof, external finish and colours to gain approval
- Hinged front entry door – 1200mm x 2100mm Hume range with frosted glass panels, painted in accordance with selected colour scheme and manufactures specification
- Hinged rear door (if depicted on plans) to be 1/3 Glass Duracote Temp Glass, painted in accordance with selected colour scheme and manufacturers specification
- Aluminium powder coated windows and doors, obscured to wet areas unless street and/or park facing
- Aluminium powder coated screen with frame and plastic fly mesh to all openable sides of sliding doors and windows. Note design covenant requirements for estate may not permit diamond barrier screen, in this instance standard plastic fly screens to be provided (if in bushfire area screens are as per AS3959-2009)
- Brick rendered and/or cladding external walls with feature cladding painted as per architectural working drawings and client signed builders nominated colour scheme
- Windows and doors to have fibre cement cladding and/or beading above where required unless otherwise noted on elevations
- Under roof alfresco with exposed aggregate as per plan (site conditions permitting)
- All exterior colour finishes are from builders standard colour scheme as nominated

FRAME

- To be constructed in accordance with current Building Regulations, National Construction Code and Australian Standards
- Frame and Trusses to be erected in accordance with current National Construction Code and Australian Standards N2/N3 wind rating unless alternative wind rating specified by structural engineer/certifier
- 2740mm ceiling heights to ground level as indicated on architectural working drawings
- Frames to be supplied in timber

EXTERIOR FINISHES

- Roof material COLORBOND® (from standard builders selection)
- COLORBOND® fascia, gutter & PVC painted downpipes as per plan
- COLORBOND® automatic wide panel lift lock up garage door with 2 remotes

KITCHEN & APPLIANCES

- 2 Pac gloss cabinetry, soft close hinges and finger pull doors and drawers (no handles) with overhead cupboards and microwave recess as per plan
- Polished edge stone benchtops with breakfast bar
- 900mm upright stainless steel electric cooktop and oven in one
- Undermount rangehood built in to overhead cabinetry as per plan
- Stainless steel 1 ½ bowl underslung sink
- Stainless steel dishwasher
- Flickmixer gooseneck tapware – chrome/satin plated
- Single fridge water connection

SPECIFICATIONS OF WORKS

BATHROOM, TOILETS & ENSUITE

- Cabinetry – 2 Pac gloss wall hung vanity with solid soft close doors and 20mm stone benchtop
- Frameless mirror to width of vanity as per plan
- Built in and tiled bath hob with drop in acrylic white bathtub to bathroom only
- 3-in-1 Tastic heat lamp with light and exhaust as per plan
- Flickmixer tapware to shower/bath and vanity
- Shower screen – clear laminated in powder coated aluminium surround. Pivot or sliding door
- White 4 star nano coated wall faced suite toilet with soft close seat where shown on plan
- Niche to showers as depicted on plan
- Chrome double towel rail to bathroom and ensuite from builders range as per plan
- Chrome toilet holder adjacent each toilet from builders range as per plan

TILING

- Tile range, 600 x 600 polished or semi porous porcelain throughout as per plans, 600 x 600 polished or semi porous porcelain to shower and 600 x 300 rectified wall tiles and splashback as per colour scheme from builders range
- Feature tile option includes running floor tile up a selected wall in the showers, as well as up and over the bath hob as per plan
- Tiling to wet area walls is floor to ceiling in showers and 1100 to the remaining walls in bathroom and ensuite. Skirting tile to laundry and toilet as per selected colour scheme

ELECTRICAL

- Lighting – White fitted LED lights as per electrical plan
- External lighting – porch, alfresco and front of garage
- Double power points to all bedrooms and living areas & alfresco
- Ducted air conditioning
- Air-con isolator on external wall
- 1 telephone point
- TV Antenna (if not in a Smartwire – OptiComm or Telstra Velocity area)
- RCD Safety switch
- 2 TV Points

- 2 Data Points
- White ceiling fans to all bedrooms, living and alfresco
- Hot Water Heat Pump
- External power point to service hot water system
- Exhaust fan to toilet where shown on plans
- Smoke alarms to all bedrooms and applicable internal areas to conform with legislation at time of Building Approval

PAINTING

- Internal 3 coat paint system (1 coat of sealer & 2 coats of colour)
- Builders selection paint as per selected colour scheme
- Custom colour scheme if requested
- White colour finish to all ceilings and cornice
- White internal walls premium sealer & professional low sheen
- Feature paint work to front façade, as per selected colour scheme, plan and covenant requirements
- Doors – Aquanamel as per selected colour scheme
- Architraves, skirting and all doors are full- gloss as per selected colour scheme
- Soffit/eave lining – ceiling white colour finish
- Downpipes painted to match roof, fascia, gutter or wall

PLASTER

- To be supplied & installed in accordance with current Australian Standards
- 90mm cornice
- Ceilings & walls 10mm plasterboard
- Wet area walls 6mm villa board or 10mm waterproof plaster board

SPECIFICATIONS OF WORKS

INTERNAL FINISH

- Brushed silver Gainsborough/Lanes/Lockwood or equivalent door hardware with privacy to master and wet areas
- Door stops and/or clips to all swing doors
- Hume redicote flush finish pre-hung with chrome or satin hinges to internal doors
- Vinyl robe doors with brushed aluminium frame to robes in living areas, and mirrored robes to bedrooms
- Architrave 66mm x 11mm
- Skirting 66mm x 11mm
- Shelving: overhead shelf, hanging rail and set of of pidgin hole cupboards to all robes, two to master, 4 shelves to linen and walk in pantry, if a broom cupboard is provided a single overhead shelf is to be installed

OTHER FINISHES

- Nylon Carpet or equivalent to all bedrooms and/or living as per plans and builders range selected colour scheme
- Wall or fence mounted clothesline
- Mail box with applicable street number to match home
- 2 Pac base cabinet to laundry to match kitchen with 20mm stone benchtop and drop in 35L or 45L stainless steel tub
- Locks to all windows and sliding doors
- Roller blinds to all clear glazed windows and sliding doors
- Bulk ceiling and/or external wall insulation to achieve required energy rating
- Wall sarking to achieve required energy rating
- Eaves as per plan – changes may be required to comply with council or covenant requirements
- Soffit/eave lining 4.5mm fibre cement sheet
- 31 x 11 finger joint beading to seal eaves and wall joint

EXTERIOR & LANDSCAPING

- Turf/pebble and or mulch to site where possible with a garden bed to front as per covenant requirements (minimum garden beds to street front as per covenant requirements or 1 x 15m2 garden bed depending on site frontage and slope where possible) Batters to be mulched
- Exposed aggregate driveway, unless specified by developer or required to match existing driveway colour
- Exposed aggregate alfresco and front porch unless specified by developer or required to match existing driveway colour or deck depending on site conditions. Client may also request to have plain concrete to these areas if acceptable with developers' covenant guidelines
- Timber paling fencing to rear, sides and returns where no existing fence provided to site and where possible depending site conditions Fence to include 1 single gate with timber paling finish. Note covenant approval may require alternative fencing finish and requirements which are to be adhered to
- Pine and/or face brick rendered feature posts to porch where applicable

