



KITCHEN APPLIANCES

Dishwasher: European stainless steel dishwasher.

Oven: European fan forced stainless wall oven.

Hot Plate: European stainless steel 600mm electric cooktop.

Range Hood: European stainless steel 600mm wide slideout range hood.

Sink: Single bowl stainless steel Shallow Sink.

Tap: Lever style.

CABINETRY

Cupboards: Fully lined melamine modular cabinets.

Doors/Drawers: Laminate doors.

Kitchen Benchtop: 20mm Square Edge Stone Bench tops.

Bathroom & Ensuite Bench Top: 20mm Square Edge Stone Bench tops.

Laundry Bench Top: 20mm Square Edge Stone Bench Tops.

Handles: D style pull handles.

Pantry: Full laminate or as per plan.

Task Lighting: Provide Task Lighting above workspaces.

Benchtop: Provide Height adjustable benchtop to the accessible benchtop.

GPO: Provide one double GPO, shall be provided within 300mm from the front edge of the benchtop.

Pantry: Provide pantry with extendable basket shelves or full pullout style pantry.

Lighting: Provide minimum 300lux lighting levels at maximum intervals of 1500mm measured directly over the benchtops.

Slip Resistance: Provide Slip resistance of all floors to sanitary facilities shall be minimum of P3 or R10.

**Subject to change*

BATHROOM & ENSUITE

Shower Bases: Tiled shower bases throughout.

Accessories: 600mm single towel rails and toilet roll holders in chrome finish.

Exhaust Fans: 250mm exhaust fans including self-sealing air flow draft stoppers to bathroom.

Toilet pan: Provide AS1428.1 2009 compliant toilet pan.

Shower: Provide shower size shall be a minimum of 1160mm x 1100mm ilo standard.

Shower Curtain Rail: Provide shower curtain rail shall be provided around the 1160x1100mm shower space.

Grabrail: Provide vertical support grabrail to the shower, with provision of height adjustable shower head and hoses per AS1428.1.

Shower tap: Provide lever style shower tap ilo standard.

Basin: Provide wall basin as per design guideline.

Tapware: Provide lever style tapware ilo standard.

Cabinet: Provide O/H wall cabinet.

Slip Resistance: Provide Slip resistance of all floors to sanitary facilities shall be minimum of P3 or R10.

Zone: Provide zone for tap.

Villaboard: Provide 12mm Villaboard to the internal side of the full sanitary room with the required WC pan, shower, hand wash basin and fixed bathtub (if provided) sheeting, from FFL and extending to a height of minimum 2100mm from FFL.

CERAMIC TILING

Wall Tiles: Wall tiles to kitchen, bathroom, ensuite and laundry where shown on plans. Tile selection as per builder's colour boards.

Slip Resistant Floor Tiles: Floor tiles to ensuite, bathroom, laundry, WC as shown on plans. Tile selection as per builder's colour boards.

Floor Boards: H7BR1D Flooring.

PAINT – 2 COAT APPLICATION

Timberwork: Gloss enamel to internal doors, jambs & mouldings.

Ceilings: Flat acrylic to ceilings.

Internal Walls: Washable low sheen acrylic to internal walls.

Colours: Colours selected as per builder's colour boards.

EXTERNAL FEATURES

Brickwork: Clay bricks from builder's colour boards.

Mortar Joints: Natural colour rolled joints.

Front Elevations: As per Working Drawings. Acrylic render/feature to selected areas as per plan (Product Specific).

Windows: Feature aluminium windows to front elevation (Product Specific). Sliding aluminium windows to sides and rear. Aluminium improved windows throughout with identification strip.

Entry Frame: Timber finish, clear glazed sidelight(s) (Product Specific).

Front Entry Door: 2040H x 1020W Solid Core Timber.

Door Furniture: Provide special door handles for improved liveability, fully accessible to all external doors with lockset.

Infill over windows: Brick Infill throughout dwelling (Design specific).

Door Seal: Door seal and weather seal to all external hinged doors.

INSULATION

Ceiling: Glasswool batts to ceiling of roof space (excludes garage ceiling).

External Brickwork: Glasswool wall batts including Sisalation to external brick veneer walls (excluding garage) and wall between garage and house. Note: Wall wrap will be sealed around openings in accordance with energy rating assessor's report.

Sound insulation: Provide sound insulation to participant's bed room.

**Subject to change*

GARAGE

General: Single/Double garage with tiled hip roof including single/double Colourbond roller door to front, painted finish infill over garage door. Plaster ceiling and concrete floor. Remote control with 2 handsets included.

External Walls: Brick veneer (on boundary wall or product specific if required).

Pedestrian Door:

Door: Weatherproof flush panel, low sheen acrylic paint finish.

Door Frame: Timber finish.

Door Furniture: Entrance lockset.

INTERNAL FEATURES

Door Furniture: Lever door furniture in polished chrome finish to all rooms.

Mouldings: 67 x 18mm bevelled MDF skirting & 67 x 18mm MDF bevelled architraves.

Door Stops: Plastic white door stops to hinged doors.

Door Seals: Door seal to nominated internal doors, in accordance with energy rating assessor's report.

Door: Provide 2040H x 1020W Solid Core timber door to all internal doors ilo standard.

Handles: Provide special door handles for improved liveability, fully accessible & High Physical Support Design categories to all internal doors.

CONTINUOUS FLOW – GAS HOT WATER SYSTEM

Continuous Flow Gas Hot Water System:

Instantaneous Hot Water System in Recycled Water Estates. Solar Hot Water System or Water Tank (Only if Developer Requirement) in Non- Recycled Water Estates.

LAUNDRY

Trough: Stainless steel tub preformed cabinet with bypass.

Tap: Lever style tapware.

Washing Machine: Chrome Stops/Grubs

PLASTER

Plasterwork: 10 mm plasterboard to ceiling and wall and 75mm cove cornice throughout.

FRAMING

Framing: Stabilised pine wall frame and roof trusses.

PLUMBING

Taps: 2 external taps, 1 to front water meter and 1 to rear of home.

**Subject to change*



ROOFING

Roof Pitch: Roof Pitch to be 22.5 degrees.

Material: Concrete tiles roofing from builder's colour boards.

Fascia & Guttering: Colorbond fascia, guttering and downpipes.

HEATING & COOLING

Heating & Cooling: Provide reverse cycle air-conditioning (Split system to each room) to living areas and bedrooms with control panels in an accessible location between 900mm and 1100mm from FFL and not closer than 500mm to any internal corner. NOTE: Ducted heating Unit Not included as Reverse Cycle will do both Heating and Cooling.

STORAGE

Shelving: Walk in Robe: One white melamine shelf with hanging rail.

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Pantry/Linen: Four white melamine shelves.

Doors: 2040mm high Vinyl Sliding Doors as per plan

CEILINGS

Height: 2590mm height throughout.

ELECTRICAL

Internal Light Points: 100mm diameter LED fittings (white) throughout as per standard electrical layout.

External Lights: 100mm LED downlight to front entry. Weather proof Para flood light to rear as per drawings.

Power Points: Provide rocker action Light and GPO switches, toggle or push pad in design with a minimum width of 35mm.

Dimmable Lighting: Provide Dimmable lighting switches shall be provided in living areas and bedrooms.

TV Points: Two points including 5 metres of coaxial cable to roof space (one to main bedroom and one to living area) including TV antennae.

Telephone Point: Two pre-wired telephone points to kitchen and master bedroom with wall plate as per working drawings including connection availability to the National Broadband Network (NBN) – Basic pack only.

Switch Plates: White wall mounted switches.

Smoke Detector(s): Hardwired with battery backup.

Safety Switches: RCD safety switch and circuit breakers to meter box.

RECYCLED WATER CONNECTION

Recycled Water: Provide recycled water connection.

Connection: if required (additional charges will apply).

EXTERNAL WORKS

Access Way: Provide additional concrete to access way as per mark up.

Bollard: Provide Bollard for share parking if required.

Letter Box: Provide Letter Box.

SITE CONDITIONS / FOUNDATIONS

Foundation Class: Up to Class 'H' concrete slab with a maximum of 300mm fall over building envelope. Allotment up to 600m² with a maximum setback of 5m to the house.

Temporary Fencing: Supply and hire of temporary fencing to site to council requirements.

Silt Fence: Supply and hire of environmental silt fence to front of property as required by council.

Rock Allowance: Allowance of rock excavation and removal (if percussive equipment is required, extra charge will apply).

Termite Treatment: Termite spray system where required by relevant authority.

Angle of Repose: Home to be sited to a minimum of three metres off easement. If sited closer, additional charges may apply.

**Subject to change*

MISCELLANEOUS

Storage cupboard: Provide a storage cupboard with a minimum 600mm width and adjustable shelf heights.

Hoist: Provision for power and inbuilt structure to all bedrooms, capable of installation of a constant charge ceiling hoist. The hoist shall be capable of going across the bed and down the bed. Min load capacity of the hoist shall be 250kg. Hoist is to be capable of being either ceiling mounted or wall mounted.

Emergency power: Provide emergency power solutions (i.e. Uninterrupted Power Supply (UPS)) shall be provided.

Internet connection: Internet connection shall be provided with the ability for high internet speeds to be maintained and stable in nature with wi-fi coverage throughout all areas of the dwelling.

Intercom: A video, intercom or other communication system shall be provided to enable communication between the participant and their supports when not within line of sight.

Smoke alarms: Smoke alarms that are in keeping with a home environment shall be provided in bedrooms and living spaces.

Evacuation plan: Emergency evacuation plan shall be provided to the occupier or their supports, which may include a path of travel to a safe place.

Fire Sprinkler Systems: Fire Sprinklers provided to dwelling in accordance with SDA Requirements

Note: Single Phase Underground Connection or Three Phase Underground Connection.

CONNECTION COSTS

Connection of services (water, gas, electricity, sewer, stormwater and telephone conduit). Does not include electricity and telephone consumer account opening fees.

**Subject to change*

Access Living reserves the right to substitute the make, model or type of any of the aforementioned products to maintain the quality and product development of its homes. Changes may be made subject to Residential Development Standards (Res Code requirements). Window and sliding door sizes may vary subject to energy rating requirements. Electricity transfer fees may apply.



My turnkey inclusions

LANDSCAPING

The front and rear of your home will be fully landscaped and ready to enjoy with trees, garden beds, grass, pebbles, rocks, mulch and topping where required.

Front landscaping includes a dripper system with timer and a modern letterbox to suit the style of your home. Rear landscaping includes a dripper system connected to a tap and a discreet fold away clothesline. Depending on your home plans, you may also choose 12m² of colour on concrete paving or alfresco area.

DRIVEWAY & PATH

Your home includes a coloured front concrete path, driveway and porch.

FENCING

Your home is fenced on sides and rear boundary at 1800mm high. 1800mm Wing fencing with 900mm gate is affixed to the side of your house if required. Fencing is built as per developer guidelines..

WINDOW FURNISHINGS & FLYSCREENS

Modern and stylish Roller Blinds cover every window and flyscreens are fitted to every opening window for complete privacy and comfort.

SPLIT SYSTEM AIR CONDITIONER

Wall mounted, 3.3kw split system air conditioner with isolation switch and condenser

ALARM SYSTEM

Including key pad entrance and 3 sensors.

FIBRE OPTIC READY

**Subject to change*

