

SITING

<div>ABN 23636539654 LIC. No. 15196518 349 BAYVIEW STREET HOLLYWELL, QLD 4216 PHONE:0409344144 WEBSITE:www.zoomconstructions.com.au</div> <div>Use figured dimensions at all times. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations &amp; BCA. This design, in part or whole, is subject to COPYRIGHT. © Zoom Constructions</div>	ISS	DATE	DESCRIPTION	ESTIMATION DETAILS:	ROOF TYPE:	COLORBOND	S.P NUMBER:	JOB NO:		
	A	19.09.24	SITING		DESIGN:	BARSTOW (LIFESTYLE - FACADE 3)	SITE DETAILS:	LOT 4 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD	ISSUE: A	DWG No:000
									DRAWN:	TB
									CHECKED:	TB
					SHEET NAME:	Cover Sheet	CLIENT:	Zoom Construction	SCALE:	DATE: 19.09.24

**1. EARTHWORKS**  
a) Cut and fill indicated on plan may vary at construction stage and builder is to verify and adjust as required.  
b) Any variation at construction stage is to comply with Council policy on earthworks/drainage for residential sites.  
c) Site works indicated on this plan are for construction purposes only.

**2. RETAINING WALLS**  
a) All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites.  
b) Position of retaining wall may vary and must be verified by builder prior to commencement.  
c) Any variation at construction stage to comply with Council policy.

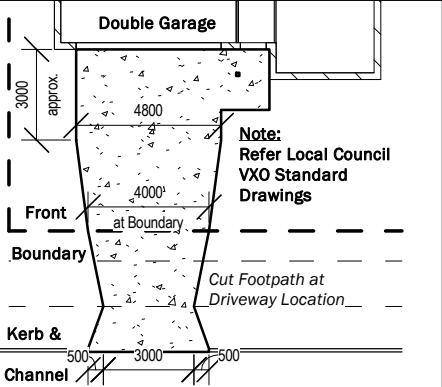
**3. CONTOURS AND LEVELS**  
a) Contours and levels shown on plan are taken from levels supplied by contour surveyor and no responsibility is taken for accuracy or cut and fill levels.

**NOTE:**  
STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND/OR PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY AND MAY NOT BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS.

MIN 100x75 DOWNPIPES ( EACH TO DRAIN MAX 40.00m sq. ROOF AREA) DISCHARING INTO 100mm sq. S/W DRAINAGE PIPEWORK (EACH RUN CARRYING MAX CAPACITY OF 8 litres/sec) MIN GRADE TO RUBBLE PITS ON SITE TO BE 1%

ROOF VENTILATION REQUIRED (216m²)

THIS HOUSE DESIGN REQUIRES:  
-15x VENTILATED EAVE SHEETS  
-3x WHIRLY BIRDS  
-EVENLY DISTRIBUTED OVER ROOF.  
-900mm FROM RIDGE-LINE  
-IF HOUSE LOCATED IN A BUSHFIRE ZONE -  
8x SNAP-IN VENTS REQUIRED



Typical Crossover

Area Schedule		
Name	Area	Perimeter
Floor Area	192.88 m²	67.32 m
Patio	12.19 m²	14.19 m
Porch	5.74 m²	12.87 m

Grand total: 210.82 m² 94.39 m  
5

External Concrete	
Type	Area
Porch	5.07 m²
Patio	12.26 m²
AC ODU	0.98 m²
Driveway	43.31 m²
Clothesline	5.73 m²

Grand total: 5 67.36 m²

Retaining Walls		
Type	Length	Area
Timber Sleeper on Fence	74.55 m	14.91 m²

RETAINING WALLS & LANDSCAPE

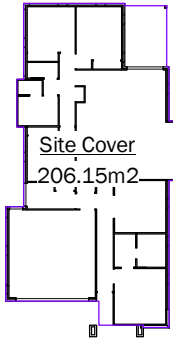
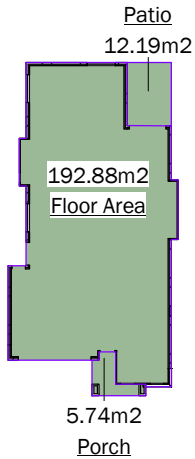
- NEW RETAINING WALLS ARE TREATED PINE UNO.
- RETAINING WALLS & LANDSCAPE QUANTITIES MAY VARY ON SITE TO SUIT AS CONSTRUCTED SITE DETAILS.

ENERGY EFFICIENCY REQ'S NCC 2022

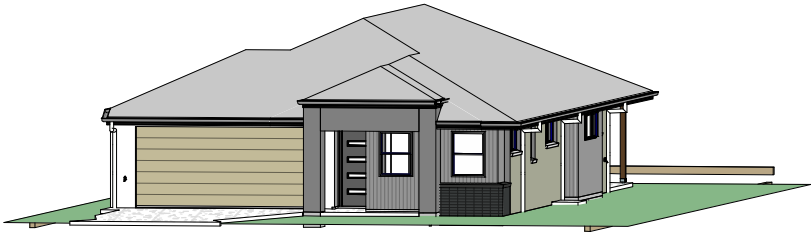
- R2.5 INSULATION INSTALLED TO ENTIRE CEILING INCLUDING PATIO.
- SARKING INSTALLED TO ALL WALLS
- 1.5 INSULATION BATTS TO ALL EXTERNAL WALLS WITH CLADDING
- CEILING FAN TO PATIO
- HEAT PUMP TO HOT WATER UNIT
- REFER TO ENERGY EFFICIENCY REPORT FOR ANY ADDITIONAL REQUIREMENTS

NO BUSHFIRE REQUIREMENTS

NO ACOUSTIC REQUIREMENTS



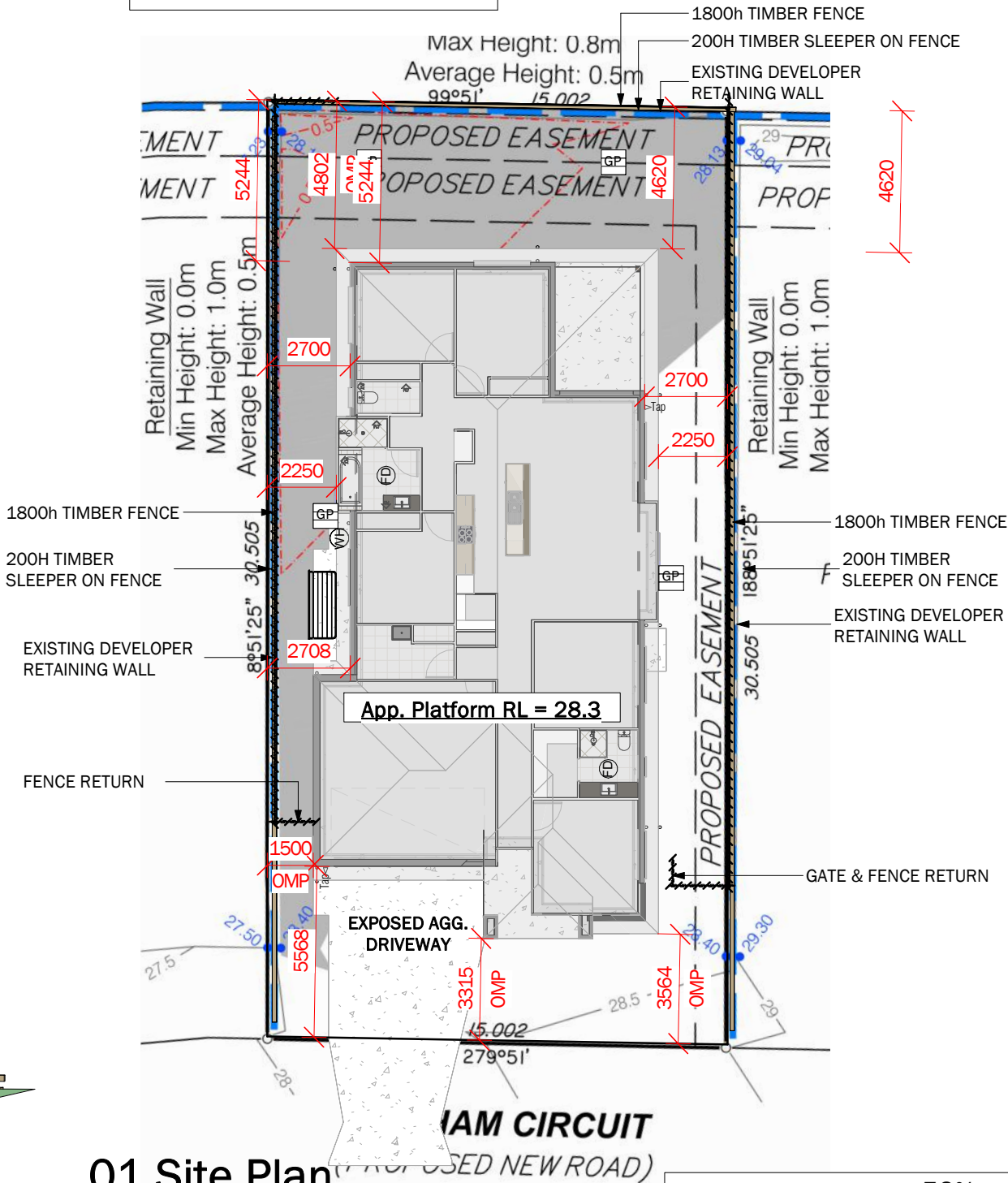
Area Plan  
1 : 500



3D SITE

EMERGENCY ACTION PLAN

- EAP ASSEMBLY AREA
- FOLLOW ARROWS











01 Site Plan  
1 : 200

SITE COVERAGE = 52%  
LOT AREA = 395m²  
HOUSE FOOTPRINT = 207m²

FENCE: PALING FENCE		RETAINING WALLS: TIMBER SLEEPERS UNO		LANDSCAPE: STANDARD LANDSCAPE		FACADE: STANDARD FACADE		FIRE WALL:		SITING			
<div>ABN 23636539654 LIC. No. 15196518</div> <div>349 BAYVIEW STREET</div> <div>HOLLYWELL, QLD 4216</div> <div>PHONE:0409344144</div> <div>WEBSITE:www.zoomconstructions.com.au</div>		ISS	DATE	DESCRIPTION	ESTIMATION DETAILS:		ROOF TYPE:	COLORBOND	S.P NUMBER:		JOB NO:		
		A	19.09.24	SITING			DESIGN:	BARSTOW (LIFESTYLE - FACADE 3)	SITE DETAILS:	LOT 4 GRAHAM CIRCUIT	ISSUE: A	DWG No:101	
								STONE RIDGE ESTATE	DRAWN:	TB			
								LOGAN RESERVE QLD	CHECKED:	TB			
Use figured dimensions at all times. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA. This design, in part or whole, is subject to COPYRIGHT. © Zoom Constructions							SHEET NAME:	Site Plan	CLIENT:	Zoom Construction	SCA <sup>1</sup> E: As indicated	DATE: 19.09.24	



### LEGEND

W.I.R.	WALK IN ROBE
BRM	BROOM CUPBOARD
UBO	UNDER BENCH OVEN
DW	DISHWASHER
MW	MICROWAVE
F	FRIDGE SPACE
P	PANTRY
OHC	OVERHEAD CABINETS
DP	DOWN PIPE
SHS	SQUARE HOLLOW SECTION
tap 	EXT. 12mm HOSE COCK
gas 	NATURAL GAS POINT
	FLOOR WASTE
	HOT WATER SYSTEM
	GAS HOT WATER SYSTEM
	IONISATION SMOKE ALARM
	METER BOX
	GAS METER

Floor Tiles	
Type	Area
Bath	3.26 m <sup>2</sup>
Ensuite	2.58 m <sup>2</sup>
Laundry	5.55 m <sup>2</sup>
Main Floor	59.79 m <sup>2</sup>
WC	2.22 m <sup>2</sup>
	73.40 m <sup>2</sup>

Internal Walls		
Type	Length	Area
Stud 70	71.99 m	135.90 m <sup>2</sup>
Stud 90	9.16 m	15.52 m <sup>2</sup>

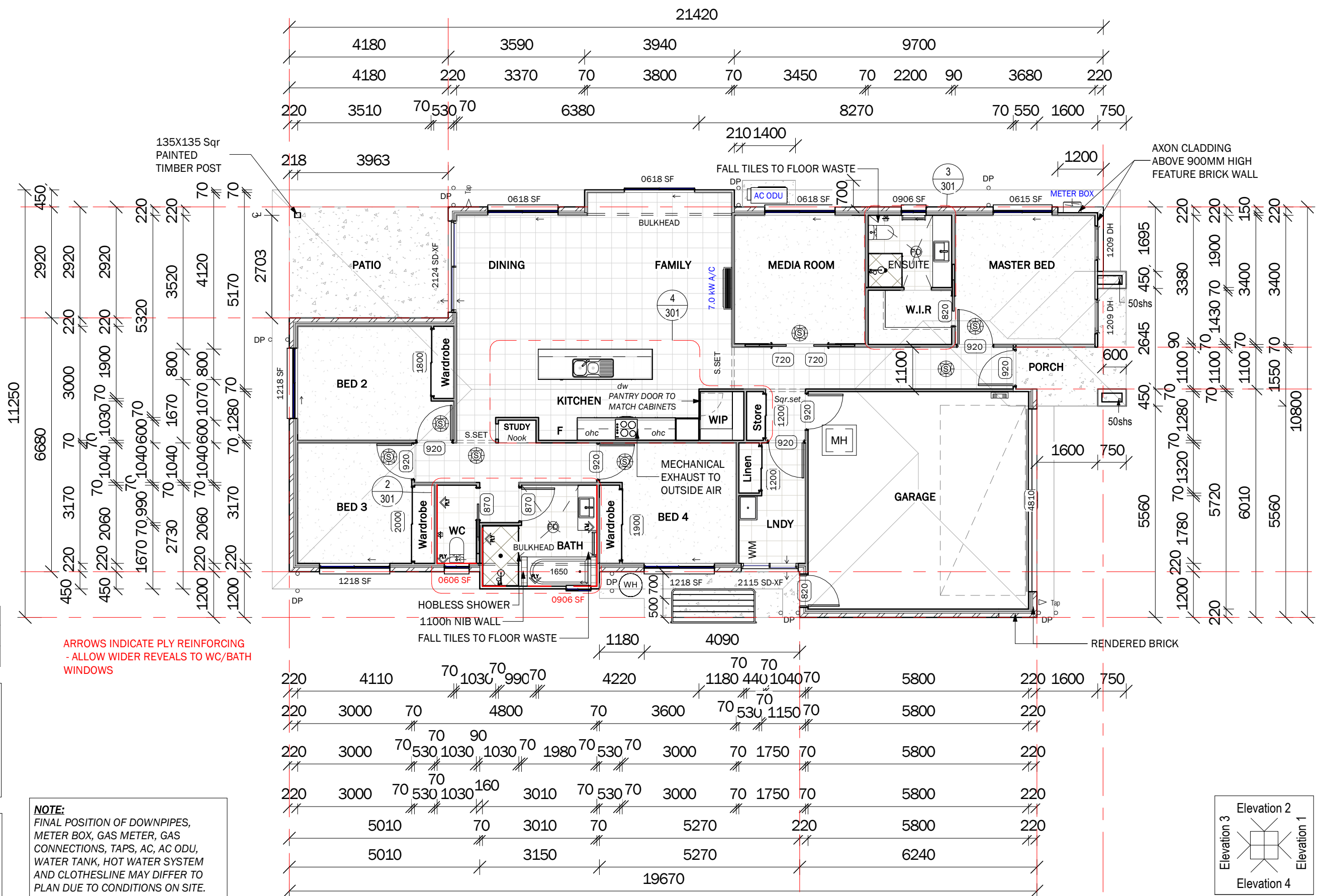
Carpet	
Type	Area
Carpet	61.93 m <sup>2</sup>

**NBN REQUIREMENTS:**

- 1 x Home Distributor with Power Supply
- 2 x Phone Points
- 2 x TV Points
- 2 x Data Point

**ALL NON LOAD  
BEARING WALLS  
TO BE AT 600 CTRS  
AND MGP10**

**NOTE:**  
FINAL POSITION OF DOWNPIPES,  
METER BOX, GAS METER, GAS  
CONNECTIONS, TAPS, AC, AC ODU,  
WATER TANK, HOT WATER SYSTEM  
AND CLOTHESLINE MAY DIFFER TO  
PLAN DUE TO CONDITIONS ON SITE.  
(IF PART OF SPECIFICATION)



## SITING

ABN 23636539654 LIC. No. 15196518  
349 BAYVIEW STREET  
HOLLYWELL, QLD 4216  
PHONE:0409344144  
WEBSITE:[www.zoomconstructions.com.au](http://www.zoomconstructions.com.au)

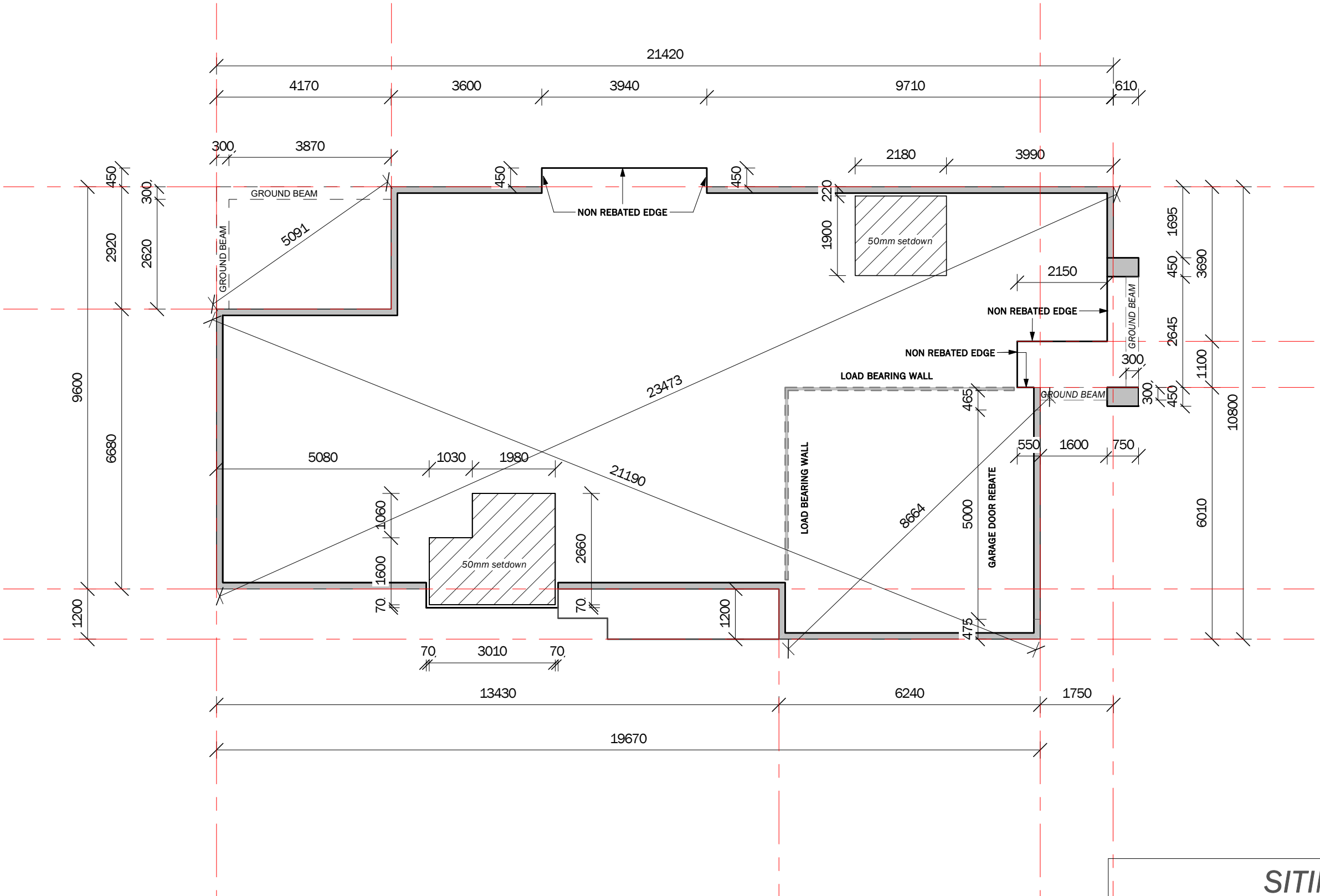
ISS	DATE	DESCRIPTION
A	19.09.24	SITING

**ESTIMATION DETAILS:**

<b>ROOF TYPE:</b>	<b>COLORBOND</b>
<b>DESIGN:</b>	<b>BARSTOW (LIFESTYLE - FACADE 3)</b>
<b>SHEET NAME:</b>	<b>Floor Plan</b>

S.P NUMBER:		JOB NO:	
SITE DETAILS:	LOT 4 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD	ISSUE: A	DWG No: 102
		DRAWN:	TB
		CHECKED:	TB
CLIENT:	Zoom Construction	SCALE: 1 : 100	DATE: 19.09.24

Use figured dimensions at all times. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA. This design, in part or whole, is subject to COPYRIGHT. © Zoom Constructions



SITING

ABN 23636539654 LIC. No. 15196518  
349 BAYVIEW STREET  
HOLLYWELL, QLD 4216  
PHONE:0409344144  
WEBSITE:www.zoomconstructions.com.au

ISS	DATE	DESCRIPTION
A	19.09.24	SITING

ESTIMATION DETAILS:

ROOF TYPE:	COLORBOND
DESIGN:	BARSTOW (LIFESTYLE - FACADE 3)
SHEET NAME:	Slab Plan

S.P NUMBER:	JOB NO:
SITE DETAILS:	LOT 4 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD
CLIENT:	Zoom Construction
ISSUE: A	DWG No: 103
DRAWN:	TB
CHECKED:	TB
SCALE:	DATE:
1 : 100	19.09.24

Use figured dimensions at all times. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA. This design, in part or whole, is subject to COPYRIGHT. © Zoom Constructions

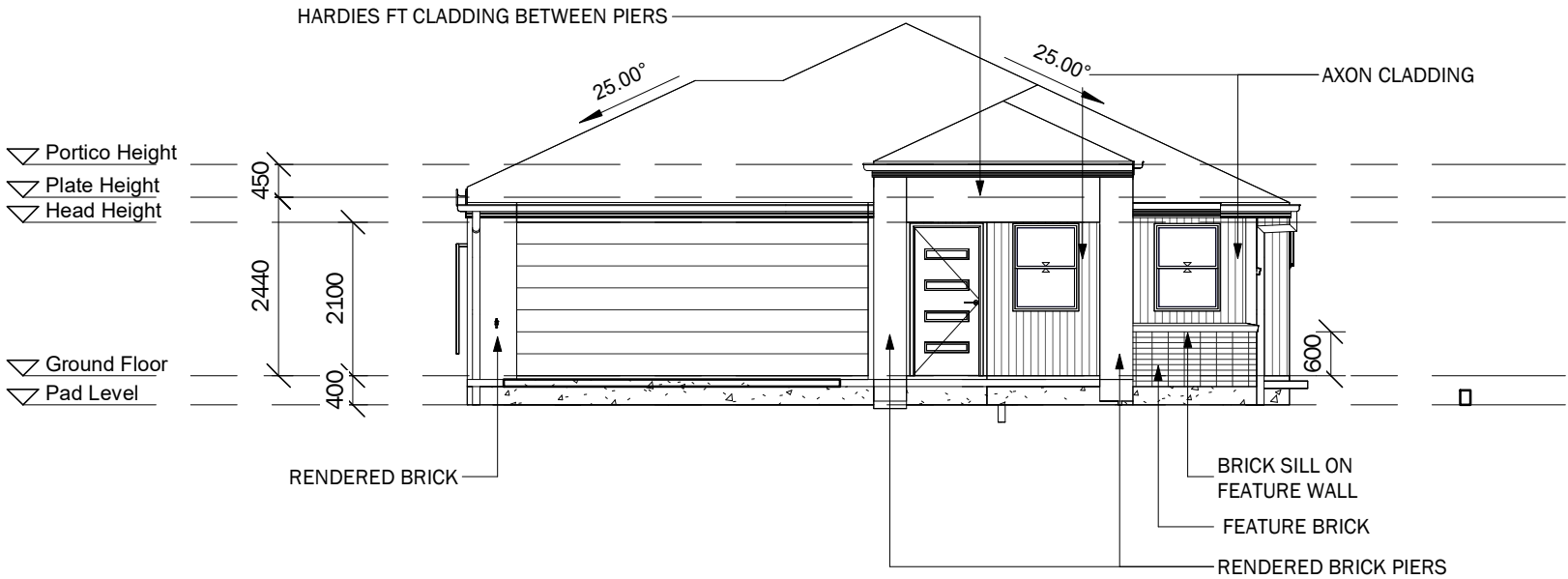
ROOF

- REFER TO TITLE BLOCK FOR ROOF TYPE. TRUSSES @ 600CTS.
- REFER TO ELEVATIONS AND ROOF PLAN FOR ROOF PITCH.
- BATTENS FOR TILED ROOF AT 330 CTS OR TO SUIT TILE SELECTION.
- BATTENS FOR COLORBOND ROOF AT 900CTS.
- ALL FIXINGS AND INSTALLATION IN ACCORDANCE WITH MAUFACTURERS SPECIFICATIONS.

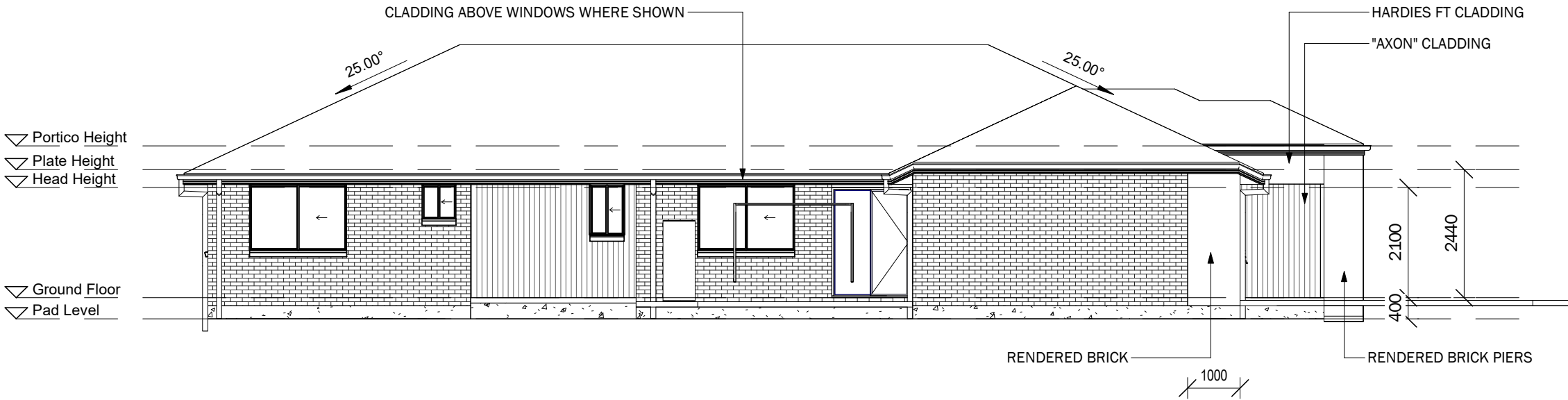
- NOTE:** BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

CLADDING & FINISHES

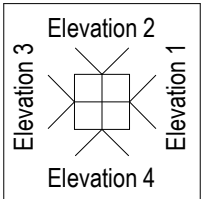
- FACE BRICK EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE DRAWING.
- PAINTED FC ABOVE WINDOW & DOOR HEADS UNO.
- THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.



Elevation 1  
1 : 100



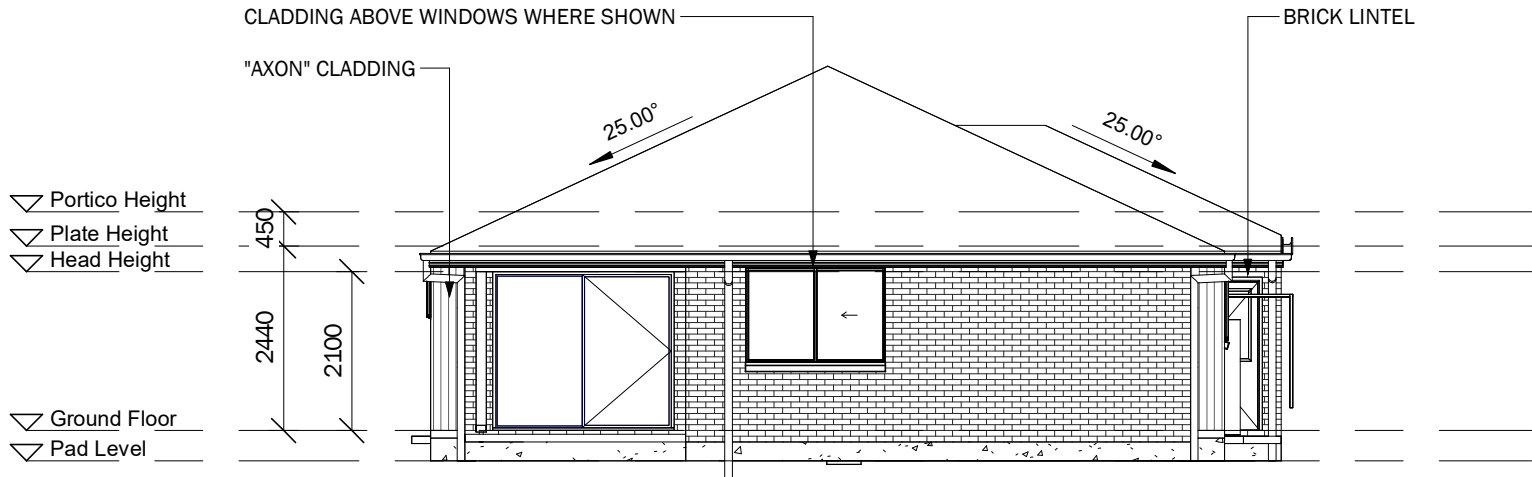
Elevation 2  
1 : 100



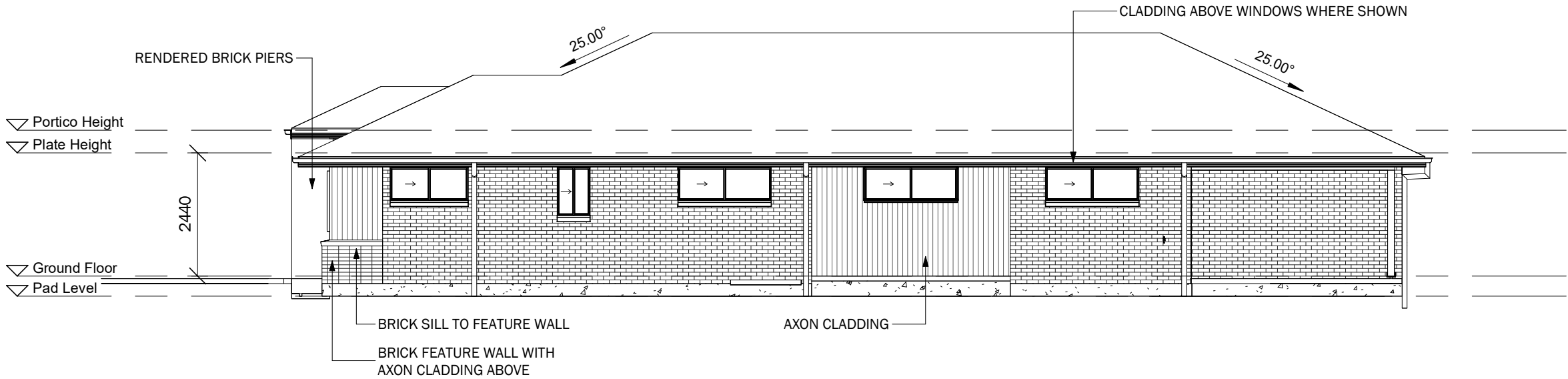
SITING

<div>ABN 23636539654 LIC. No. 15196518 349 BAYVIEW STREET HOLLYWELL, QLD 4216 PHONE:0409344144 WEBSITE:www.zoomconstructions.com.au</div> <div>Use figured dimensions at all times. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations &amp; BCA. This design, in part or whole, is subject to COPYRIGHT. © Zoom Constructions</div>	ISS	DATE	DESCRIPTION	ESTIMATION DETAILS:	ROOF TYPE:	COLORBOND	S.P NUMBER:		JOB NO:		
	A	19.09.24	SITING		DESIGN:	BARSTOW (LIFESTYLE - FACADE 3)	SITE DETAILS:	LOT 4 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD	ISSUE:	A	DWG No:201
										DRAWN:	TB
										CHECKED:	TB
					SHEET NAME:	Elevations	CLIENT:	Zoom Construction	SCALE:	DATE:	
									1 : 100	19.09.24	

- ROOF
- REFER TO TITLE BLOCK FOR ROOF TYPE. TRUSSES @ 600CTS.
  - REFER TO ELEVATIONS AND ROOF PLAN FOR ROOF PITCH.
  - BATTENS FOR TILED ROOF AT 330 CTS OR TO SUIT TILE SELECTION.
  - BATTENS FOR COLORBOND ROOF AT 900CTS.
  - ALL FIXINGS AND INSTALLATION IN ACCORDANCE WITH MAUFACTURERS SPECIFICATIONS.
- NOTE: BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- CLADDING & FINISHES
- FACE BRICK EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE DRAWING.
- PAINTED FC ABOVE WINDOW & DOOR HEADS UNO.
- THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.



Elevation 3  
1 : 100



Elevation 4  
1 : 100

							SITING				
<div>ABN 23636539654 LIC. No. 15196518 349 BAYVIEW STREET HOLLYWELL, QLD 4216 PHONE:0409344144 WEBSITE:www.zoomconstructions.com.au</div> <div>Use figured dimensions at all times. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations &amp; BCA. This design, in part or whole, is subject to COPYRIGHT. © Zoom Constructions</div>	ISS	DATE	DESCRIPTION	ESTIMATION DETAILS:	ROOF TYPE:	COLORBOND	S.P NUMBER:		JOB NO:		
	A	19.09.24	SITING		DESIGN:	BARSTOW (LIFESTYLE - FACADE 3)	SITE DETAILS:	LOT 4 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD	ISSUE:	A	DWG No:202
					DRAWN:		TB				
					CHECKED:		TB				
					SHEET NAME:	Elevations	CLIENT:	Zoom Construction	SCALE:	DATE:	
							1 : 100	19.09.24			