

SITING



ABN 23636539654 LIC. No. 15196518
 349 BAYVIEW STREET
 HOLLYWELL, QLD 4216
 PHONE: 0409344144
 WEBSITE: www.zoomconstructions.com.au

Use figured dimensions at all times. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA. This design, in part or whole, is subject to COPYRIGHT. © Zoom Constructions

ISS	DATE	DESCRIPTION
A	08.05.24	06.10.22

ESTIMATION DETAILS:

ROOF TYPE:	COLORBOND
DESIGN:	SOHO (12) LIFESTYLE FACADE 3
SHEET NAME:	Cover Sheet

S.P NUMBER:	
SITE DETAILS:	LOT 24 RAVEN COURT AVIARY RIDGE ESTATE STAGE 1 PARK RIDGE QLD
CLIENT:	ZOOM CONSTRUCTIONS

JOB NO:	
ISSUE:	A
DWG No:	000
DRAWN:	
CHECKED:	TB
SCALE:	
DATE:	08.05.24

1. EARTHWORKS

- a) Cut and fill indicated on plan may vary at construction stage and builder is to verify and adjust as required.
- b) Any variation at construction stage is to comply with Council policy on earthworks/drainage for residential sites.
- c) Site works indicated on this plan are for construction purposes only.

2. RETAINING WALLS

- a) All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites.
- b) Position of retaining wall may vary and must be verified by builder prior to commencement.
- c) Any variation at construction stage to comply with Council policy.

3. CONTOURS AND LEVELS

- a) Contours and levels shown on plan are taken from levels supplied by contour surveyor and no responsibility is taken for accuracy or cut and fill levels.

4. STORMWATER

- a) Drainage is calculated for this proposed development only and may not be adequate for any subsequent roofed or paved areas.
- b) Minimum 100x75 or 100Ø downpipes at a rate of 1 per 40m² of roof area, discharging into 100Ø stormwater pipework connecting yard gullies.
- c) Minimum grade of 1% to kerb adapter or rubble pit if applicable.

Area Schedule		
Name	Area	Perimeter
Floor Area	184.05 m ²	63.62 m
Patio	16.81 m ²	16.46 m
Porch	7.12 m ²	15.44 m
Grand total: 3	207.98 m ²	

External Concrete	
Type	Area
Patio	16.62 m ²
Porch & Path	7.12 m ²
Clothesline	3.42 m ²
Driveway	42.74 m ²
Step Out	1.56 m ²
AC ODU	0.98 m ²
Water Heater	0.49 m ²
Grand total: 7	72.92 m ²

Retaining Walls		
Type	Length	Area
Retaining Wall - Timber	61.76 m	37.05 m ²

RETAINING WALLS & LANDSCAPE

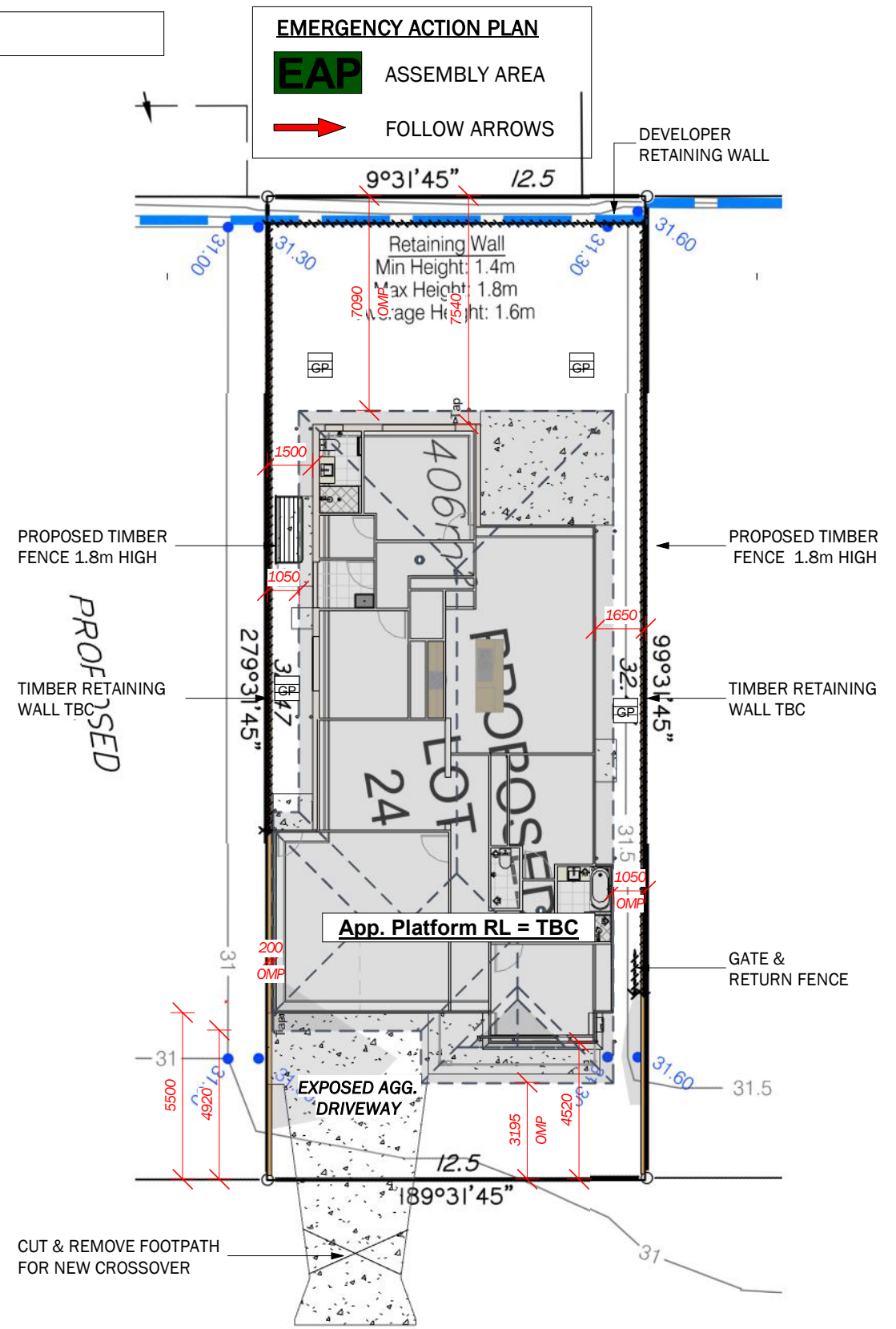
- NEW RETAINING WALLS ARE TREATED PINE UNO.
- RETAINING WALL & LANDSCAPE QUANTITIES MAY VARY ON SITE TO SUIT AS CONSTRUCTED SITE DETAILS.

NO ACOUSTIC REQUIREMENTS

NO BUSHFIRE REQUIREMENTS

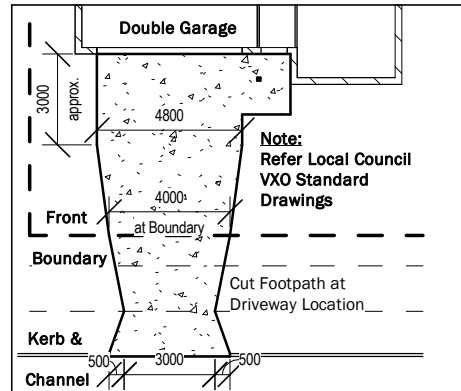
EMERGENCY ACTION PLAN

- EAP** ASSEMBLY AREA
- FOLLOW ARROWS

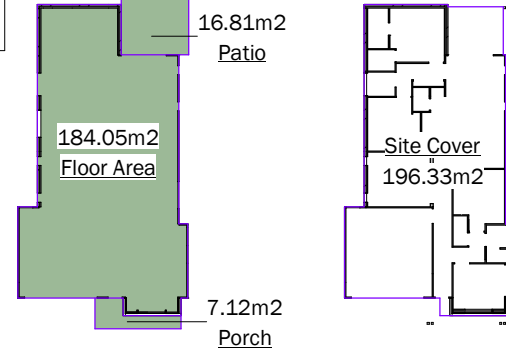


ROOF VENTILATION REQUIRED (216m²)

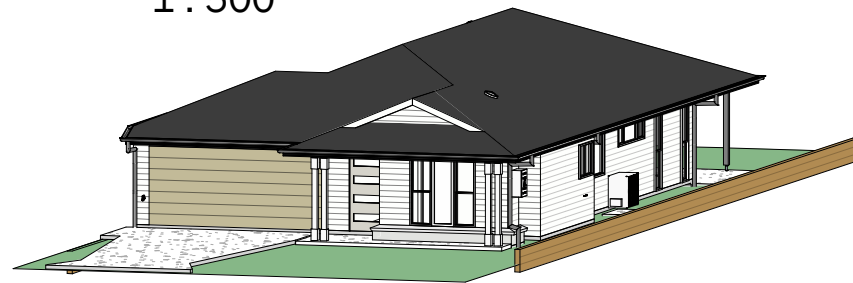
- THIS HOUSE DESIGN REQUIRES:
- 15x VENTILATED EAWE SHEETS
- 3x WHIRLY BIRDS
- EVENLY DISTRIBUTED OVER ROOF.
- 900mm FROM RIDGE-LINE
- IF HOUSE LOCATED IN A BUSHFIRE ZONE -
- 8x SNAP-IN VENTS REQUIRED



Crossover Layout




Area Plan 1 : 500



Site 3D

SITE COVERAGE = 49%
LOT AREA = 406m²
HOUSE FOOTPRINT = 197m²

FENCE: PALING FENCE	RETAINING WALLS: TIMBER SLEEPERS UNO	LANDSCAPE: STANDARD LANDSCAPE	FACADE: STANDARD FACADE	FIRE WALL: HARDIESMART FIRE WALL SYSTEM	SITING																								
 <p>ABN 23636539654 LIC. No. 15196518 349 BAYVIEW STREET HOLLYWELL, QLD 4216 PHONE: 0409344144 WEBSITE: www.zoomconstructions.com.au</p>	<table border="1"> <thead> <tr> <th>ISS</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>08.05.24</td> <td>SITING</td> </tr> <tr> <td>B</td> <td>11.09.23</td> <td>SITING CLORBOND ROOF - UPDATE STANDARD</td> </tr> </tbody> </table>	ISS	DATE	DESCRIPTION	A	08.05.24	SITING	B	11.09.23	SITING CLORBOND ROOF - UPDATE STANDARD	ESTIMATION DETAILS:	<table border="1"> <tr> <td>ROOF TYPE: COLORBOND</td> <td>S.P NUMBER:</td> </tr> <tr> <td>DESIGN: SOHO (12) LIFESTYLE FACADE 3</td> <td>SITE DETAILS: LOT 24 RAVEN COURT AVIARY RIDGE ESTATE STAGE 1 PARK RIDGE QLD</td> </tr> <tr> <td>SHEET NAME: Site Plan</td> <td>CLIENT: ZOOM CONSTRUCTIONS</td> </tr> </table>	ROOF TYPE: COLORBOND	S.P NUMBER:	DESIGN: SOHO (12) LIFESTYLE FACADE 3	SITE DETAILS: LOT 24 RAVEN COURT AVIARY RIDGE ESTATE STAGE 1 PARK RIDGE QLD	SHEET NAME: Site Plan	CLIENT: ZOOM CONSTRUCTIONS	<table border="1"> <tr> <td>JOB NO:</td> <td>ISSUE: B</td> <td>DWG No: 101</td> </tr> <tr> <td>DRAWN:</td> <td>CHECKED: TB</td> <td></td> </tr> <tr> <td>SCA'E: As indicated</td> <td>DATE: 08.05.24</td> <td></td> </tr> </table>		JOB NO:	ISSUE: B	DWG No: 101	DRAWN:	CHECKED: TB		SCA'E: As indicated	DATE: 08.05.24	
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LEGEND

- W.I.R. WALK IN ROBE
- BRM BROOM CUPBOARD
- UBO UNDER BENCH OVEN
- DW DISHWASHER
- MW MICROWAVE
- F FRIDGE SPACE
- P PANTRY
- OHC OVERHEAD CABINETS
- DP DOWN PIPE
- SHS SQUARE HOLLOW SECTION
- tap EXT. 12mm HOSE COCK
- gas NATURAL GAS POINT
- FD FLOOR WASTE
- WH HOT WATER SYSTEM
- GWH GAS HOT WATER SYSTEM
- IONISATION SMOKE ALARM
- METER BOX
- GAS METER

NBN REQUIREMENTS:

- 1 x Home Distributor with Power Supply
- 2 x Phone Points
- 2 x TV Points
- 2 x Data Point

Area Schedule		
Name	Area	Perimeter
Floor Area	184.05 m ²	63.62 m
Patio	16.81 m ²	16.46 m
Porch	7.12 m ²	15.44 m
Grand total: 3	207.98 m ²	

Carpet	
Type	Area
Carpet	50.80 m ²

Internal Walls		
Type	Length	Area
Stud 70	77.89 m	140.88 m ²
Stud 90	9.14 m	15.06 m ²
Stud 190	2.16 m	4.77 m ²

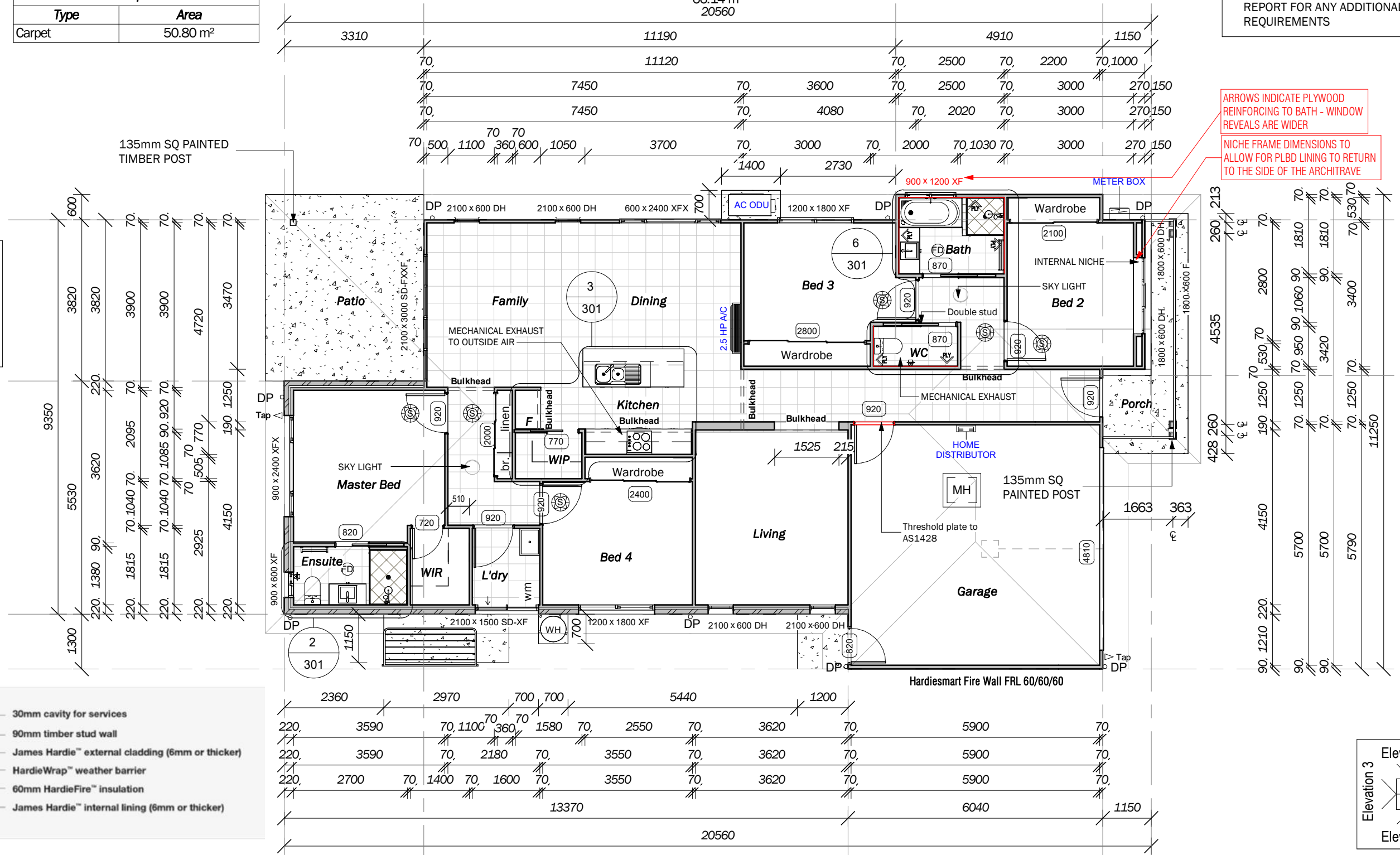
Floor Tiles	
Type	Area
Bath	2.43 m ²
Ensuite	2.57 m ²
Laundry	3.00 m ²
Main Floor	56.24 m ²
WC	1.90 m ²
	66.14 m ²
	20560

NOTE:
FINAL POSITION OF DOWNPIPES, METER BOX, GAS METER, GAS CONNECTIONS, TAPS, AC, AC ODU, WATER TANK, HOT WATER SYSTEM AND CLOTHESLINE MAY DIFFER TO PLAN DUE TO CONDITIONS ON SITE. (IF PART OF SPECIFICATION)

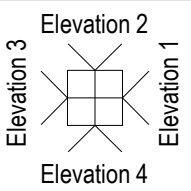
ALL NON LOAD BEARING WALLS TO BE AT 600 CTRS AND MGP10

ENERGY EFFICIENCY REQ'S NCC 2022

- R2.5 INSULATION INSTALLED TO ENTIRE CEILING INCLUDING PATIO.
- SARKING INSTALLED TO ALL WALLS
- 1.5 INSULATION BATTS TO ALL EXTERNAL WALLS WITH CLADDING
- CEILING FAN TO PATIO
- HEAT PUMP TO HOT WATER UNIT
- REFER TO ENERGY EFFICIENCY REPORT FOR ANY ADDITIONAL REQUIREMENTS



HardiSmart Boundary Wall System



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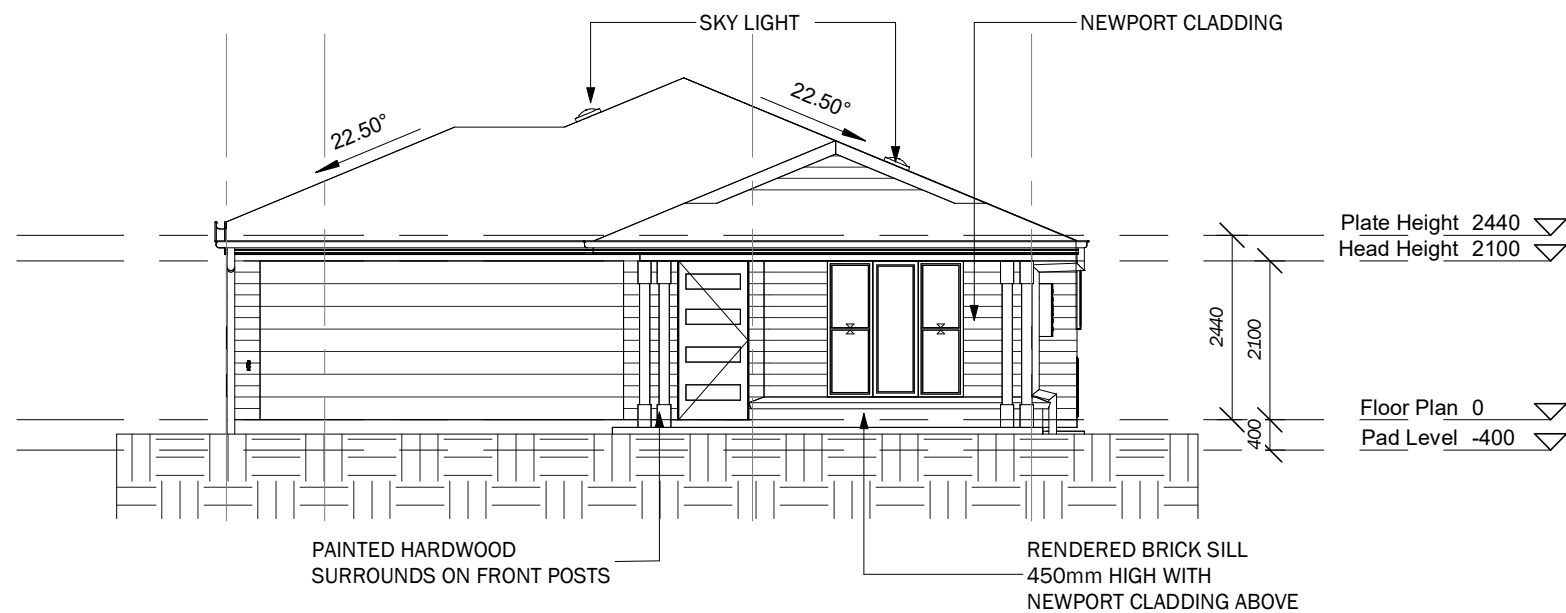
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A	08.05.24	SITING

ESTIMATION DETAILS:	
ROOF TYPE:	COLORBOND
DESIGN:	SOHO (12) LIFESTYLE FACADE 3
SHEET NAME:	Floor Plan

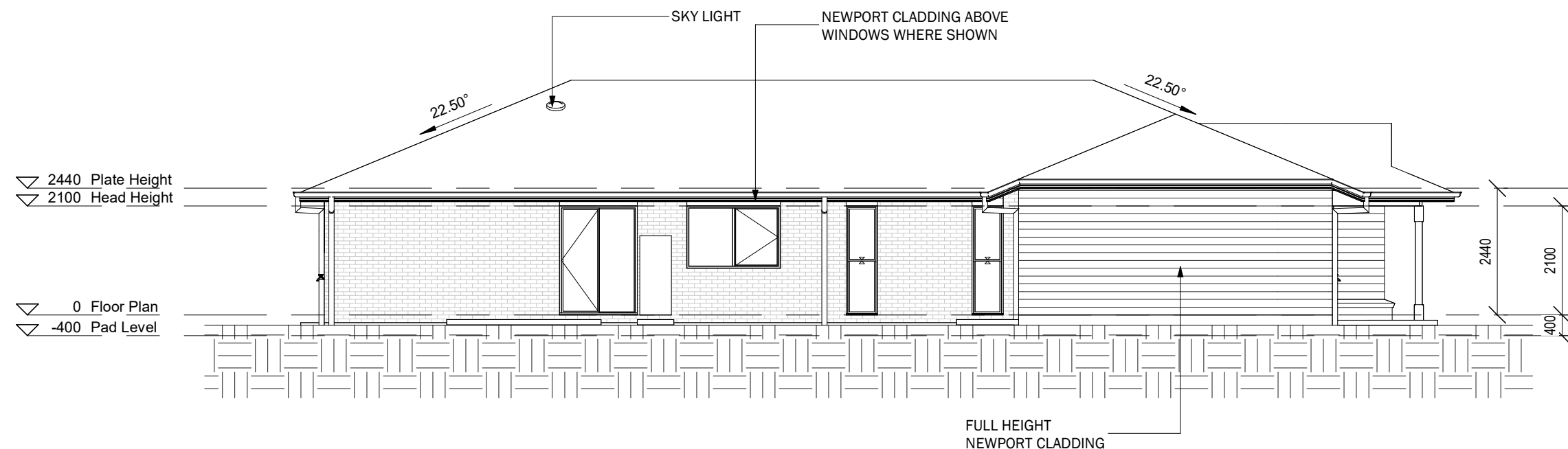
S.P NUMBER:	
SITE DETAILS:	LOT 24 RAVEN COURT AVIARY RIDGE ESTATE STAGE 1 PARK RIDGE QLD
CLIENT:	ZOOM CONSTRUCTIONS

JOB NO:	
ISSUE:	A
DWG No:	102
DRAWN:	
CHECKED:	TB
SCALE:	1 : 100
DATE:	08.05.24

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Elevation 1
1 : 100



Elevation 2
1 : 100

- ROOF**
- REFER TO TITLE BLOCK FOR ROOF TYPE. TRUSSES @ 600CTS.
 - REFER TO ELEVATIONS AND ROOF PLAN FOR ROOF PITCH.
 - BATTENS FOR TILED ROOF AT 330 CTS OR TO SUIT TILE SELECTION.
 - BATTENS FOR COLORBOND ROOF AT 900CTS.
 - ALL FIXINGS AND INSTALLATION IN ACCORDANCE WITH MAUFACTURERS SPECIFICATIONS.
- NOTE:** BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MAUFACTURERS SPECIFICATIONS.
- CLADDING & FINISHES**
- FACE BRICK EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE DRAWING.
 - PAINTED FC ABOVE WINDOW & DOOR HEADS UNO.
 - THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.

SITING			
S.P NUMBER:		JOB NO:	
SITE DETAILS:		ISSUE: A DWG No: 201	
CLIENT:		DRAWN:	
ZOOM CONSTRUCTIONS		CHECKED: TB	
SCALE:		DATE:	
1 : 100		08.05.24	



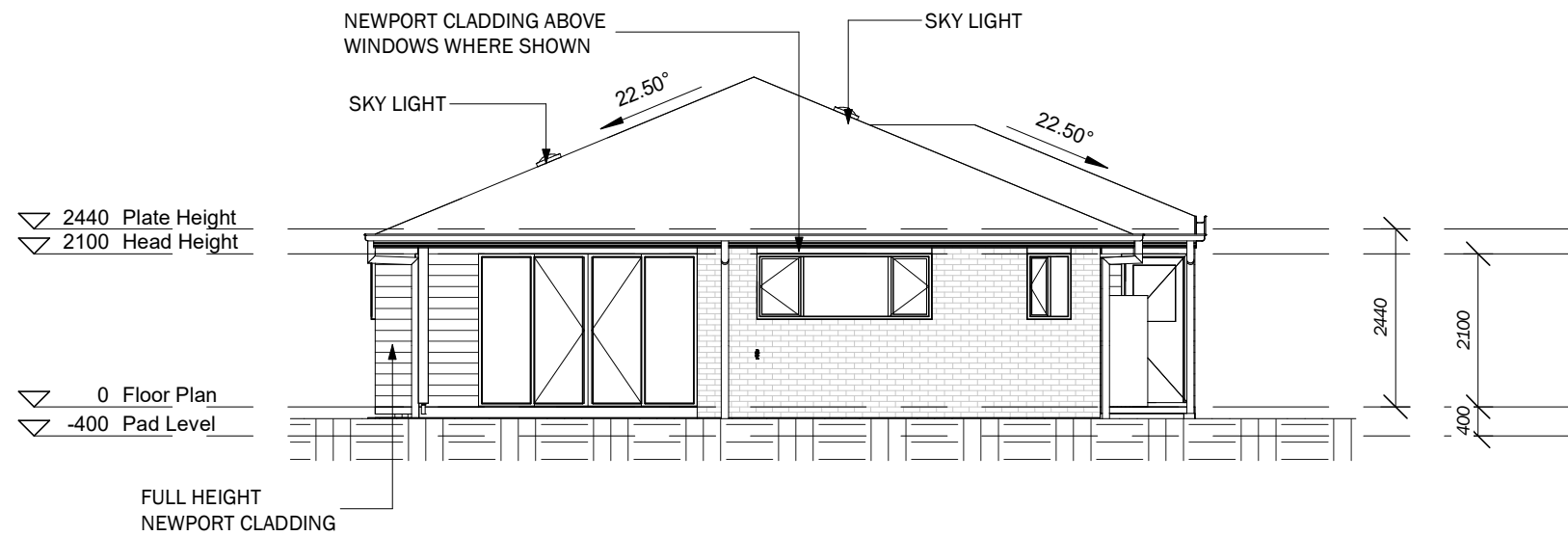
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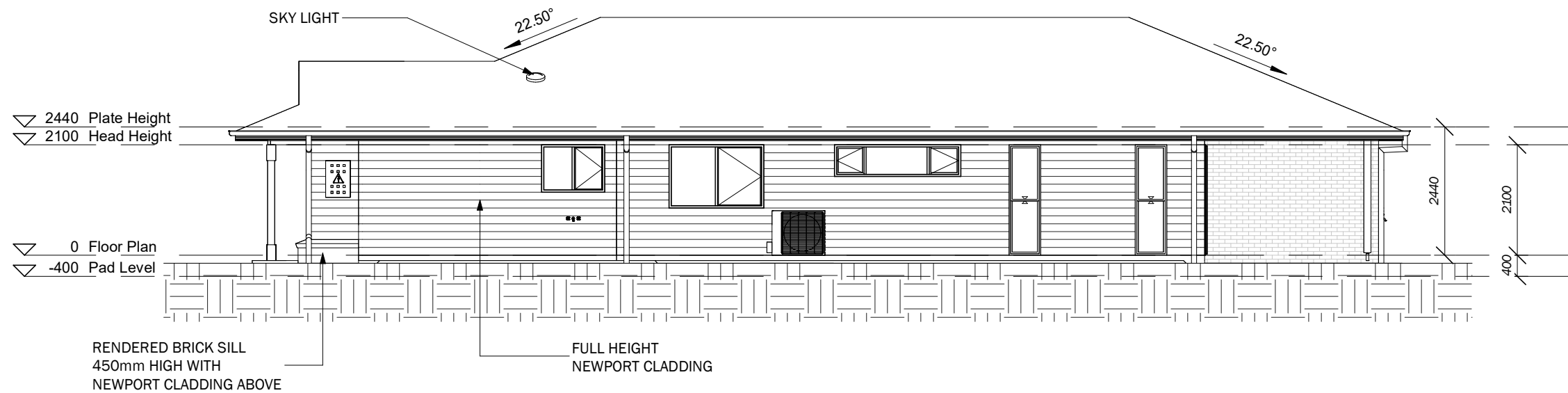
ISS	DATE	DESCRIPTION
A	08.05.24	06.10.22
		12.10.23

ESTIMATION DETAILS:
600H TIMBER RETAINING WALLS
REDUCE BED 4 ROBE & ADJUST HALLWAY FOR NCC REQ

ROOF TYPE: COLORBOND
DESIGN: SOHO (12) LIFESTYLE FACADE 3
SHEET NAME: Elevations



Elevation 3
1 : 100



Elevation 4
1 : 100

- ROOF**
- REFER TO TITLE BLOCK FOR ROOF TYPE. TRUSSES @ 600CTS.
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ROOF TYPE:	COLORBOND
DESIGN:	SOHO (12) LIFESTYLE FACADE 3
SHEET NAME:	Elevations

S.P NUMBER:	
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CLIENT:	ZOOM CONSTRUCTIONS

JOB NO:	
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DWG No:	202
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