

Perspective

ACN 061 632 862      LIC. No. 71541  
P.O. BOX 396  
PARADISE POINT, QLD 4216  
PHONE: 07-5501 3300      WEBSITE:  
FAX No: 07-5501 3399      www.choicehomes.com.au

Use figured dimensions at all times. Refer enquiries to **CHOICE HOMES (QLD) PTY LTD**. All dimensions to be verified on site prior to construction. All work to comply with Local Authority regulations & BCA.  
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Estimation Details:	STANDARD TEMPLATE	
ROOF TYPE: COLORBOND ROOF		
A	13.09.24	SITING
ISS	DATE	DESCRIPTION
SITING		
SITE DETAILS: LOT 9 GRAHAM CIRCUIT STONE RIDGE ESTATE LOGAN RESERVE QLD		
PROPERTY DETAILS		
S.P NUMBER		
HOUSE NAME: BANGALOW BF (1) RHS		
HOUSE TYPE: SINGLE STOREY		
CLIENT: CHOICE HOMES		
CLIENTS SIGNATURE:		
DATE:	13.09.24	DWG Name
SCALE:		Perspective
DRAWN:	TB	DWG No:
CHECKED:	TB	000
JOB No:		ISSUE
		A

- Cut and fill indicated on plan may vary at construction stage and builder is to verify and adjust as required.
- Any variation at construction stage is to comply with Council policy on earthworks/drainage for residential sites.
- Site works indicated on this plan are for construction purposes only.

- a) All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites.
- b) Position of retaining wall may vary and must be verified by builder prior to commencement.
- c) Any variation at construction stage to comply with Council policy.
- d) Retaining walls may not align with property boundary's. Fences are located on retaining walls.

a) Contours and levels shown on plan are taken from levels supplied by contour surveyor and no responsibility is taken for accuracy or cut and fill levels.

- a) Drainage is calculated for this proposed development only and may not be adequate for any subsequent roofed or paved areas.
- b) Minimum 100x75 or 1000 downpipes at a rate of 1 per 40m<sup>2</sup> of roof area, discharging into 1000 stormwater pipework connecting yard gullies.
- c) Minimum grade of 1% to kerb adapter or rubble pit if applicable.



EXTERNAL CONCRETE		
Type	Area	
Patio	16.10 m <sup>2</sup>	
AC ODU	0.98 m <sup>2</sup>	
Porch & Path	3.23 m <sup>2</sup>	
Clothesline	6.99 m <sup>2</sup>	
Driveway	43.56 m <sup>2</sup>	
Grand total: 5	70.85 m <sup>2</sup>	

RETAINING WALLS		
Type	Length	Area
Retaining Wall - Timber	40.52 m	16.21 m <sup>2</sup>
Sleeper on Fence - Timber	28.76 m	5.74 m <sup>2</sup>

**NO BUSHFIRE REQUIREMENTS**

- R2.5 INSULATION INSTALLED TO ENTIRE CEILING INCLUDING PATIO.
- SARKING INSTALLED TO ALL WALLS
- 1.5 INSULATION BATTS TO ALL EXTERNAL WALLS WITH CLADDING
- CEILING FAN TO PATIO
- HEAT PUMP TO HOT WATER UNIT
- REFER TO ENERGY EFFICIENCY REPORT FOR ANY ADDITIONAL REQUIREMENTS

FOLLOW ARROWS



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SITE COVERAGE	53%
LOT AREA	357m <sup>2</sup>
BUILDING SITE COVER	189m <sup>2</sup>

Estimation Details:

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ISS	DATE	DESCRIPTION

## SITING

SITE DETAILS:  
LOT 9 GRAHAM CIRCUIT  
STONE RIDGE ESTATE  
LOGAN RESERVE QLD

## S.P NUMBER

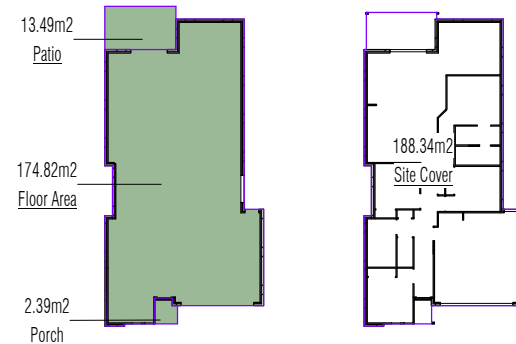
HOUSE NAME:  
BANGALOW BF (1) RHS

HOUSE TYPE:  
SINGLE STOREY

CLIENT:  
CHOICE HOMES

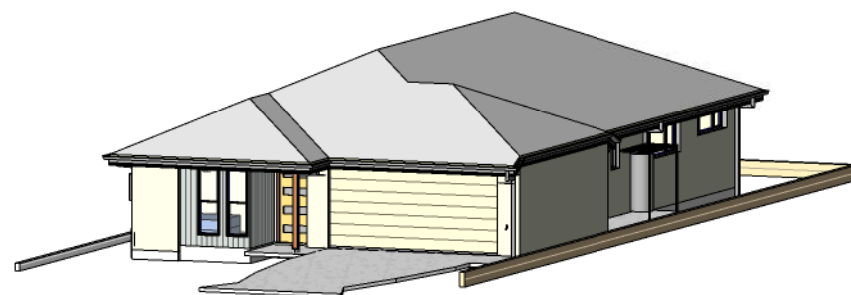
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SCALE:	As indicated	
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JOB No:		ISSUE

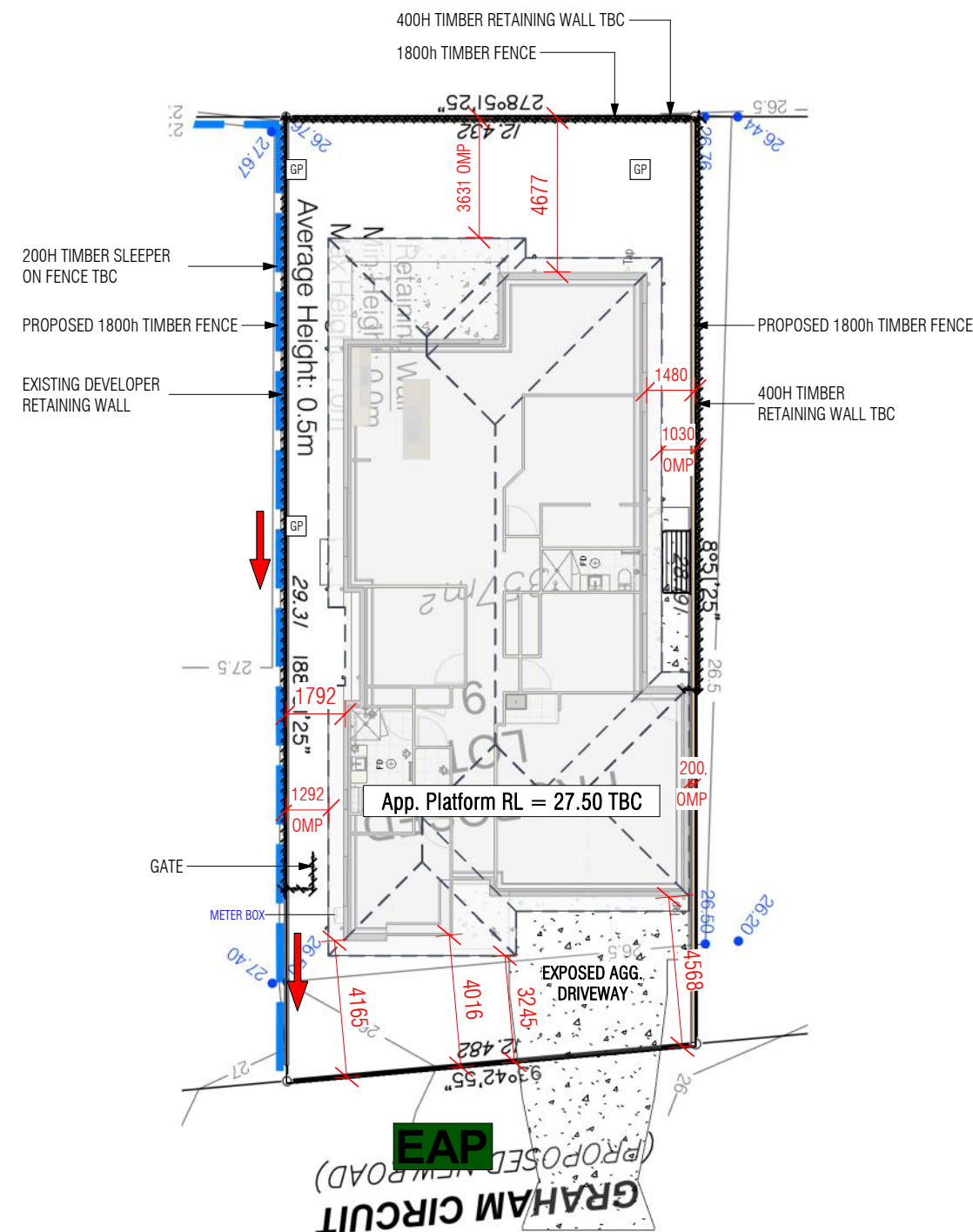


# Area Plan

1 : 500



## Site 3D



# 01 Site Plan

1 : 200

**RETAINING WALLS:** TIMBER SLEEPERS UNO

**FIRE WALL:** HARDIESMART FIRE WALL SYSTEM

## Site Plan

Steno Bidro / school ed110 CITING BIVENS COMPLAINT (A) BANCORP W/ BE (1) BUS NICC 23 2024 ed

W.I.R.	WALK IN ROBE
BRM	BROOM CUPBOARD
UBO	UNDER BENCH OVEN
DW	DISHWASHER
MW	MICROWAVE
F	FRIDGE SPACE
P	PANTRY
OHC	OVERHEAD CABINETS
DP	DOWN PIPE
SHS	SQUARE HOLLOW SECTION
tap	 EXT. 12mm HOSE COCK
gas	 NATURAL GAS POINT
	FLOOR WASTE
	HOT WATER SYSTEM
	GAS HOT WATER SYSTEM
	IONISATION SMOKE ALARM
	METER BOX
	GAS METER

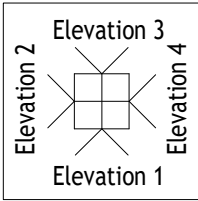
ALL NON LOAD BEARING WALLS  
TO BE AT 600 CTRS AND MGP10

INTERNAL WALLS			
Type	Length	Area	Width
Stud 70	60.89 m	116.71 m <sup>2</sup>	70
Stud 90	7.78 m	15.43 m <sup>2</sup>	90

CARPET	
Type	Area
Carpet	62.12 m <sup>2</sup>

**NBN REQUIREMENTS:**

- 1 x HOME DISTRIBUTOR & POWER SUPPLY
- 2 X PHONE POINTS
- 2 X TV POINTS
- 2 X DATA POINT



## Floor Plan

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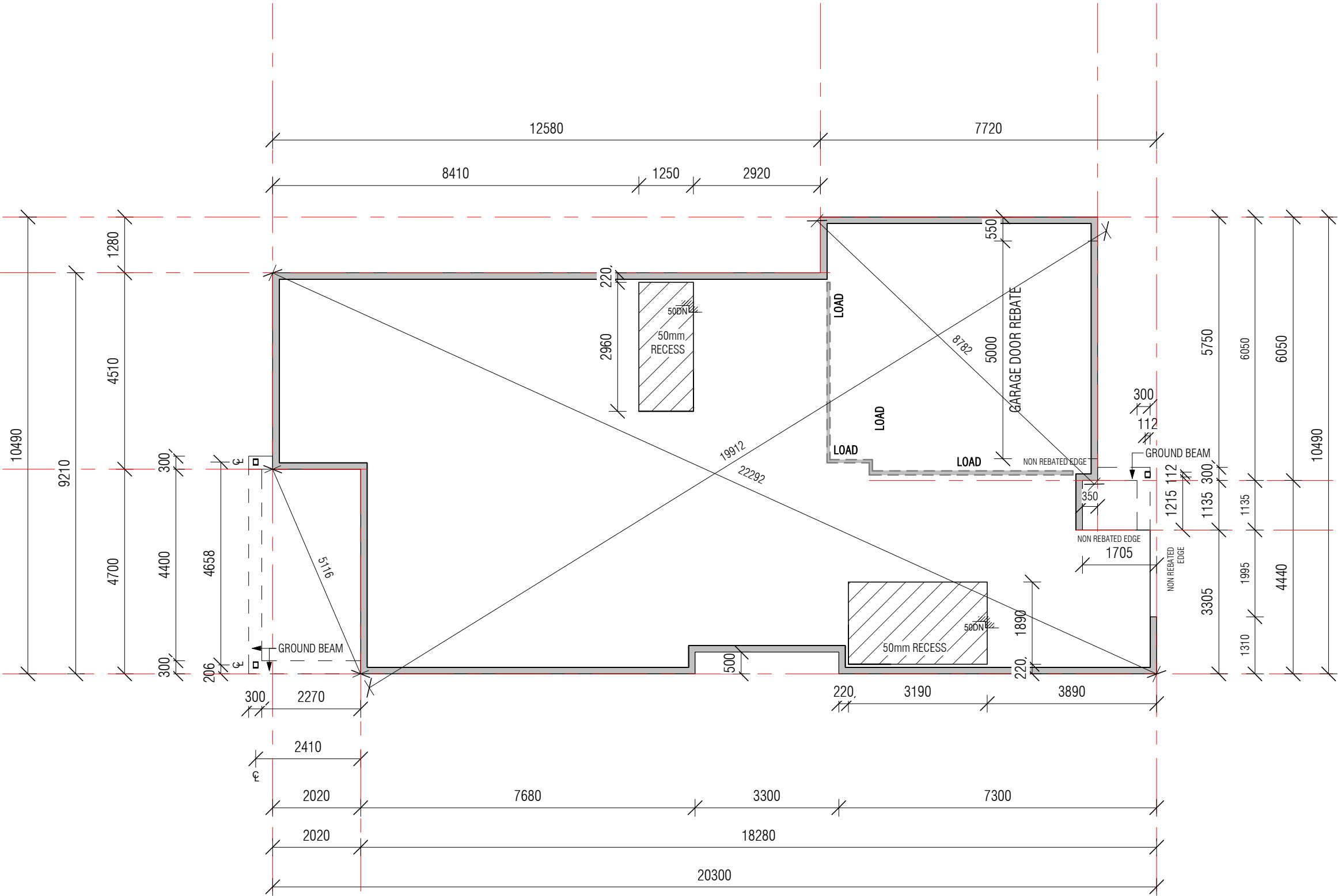
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**LOT 9 GRAHAM CIRCUIT**  
**STONE RIDGE ESTATE**  
**LOGAN RESERVE QLD**

HOUSE TYPE:  
SINGLE STOREY

CLIENTS SIGNATURE:	
DATE: 13.09.24	DWG Name  <b>Floor Plan</b>
SCALE: 1 : 100	
DRAWN: TB	DWG No:  <b>102</b>
CHECKED: TB	
JOB No:	ISSUE  <b>A</b>



Slab Plan

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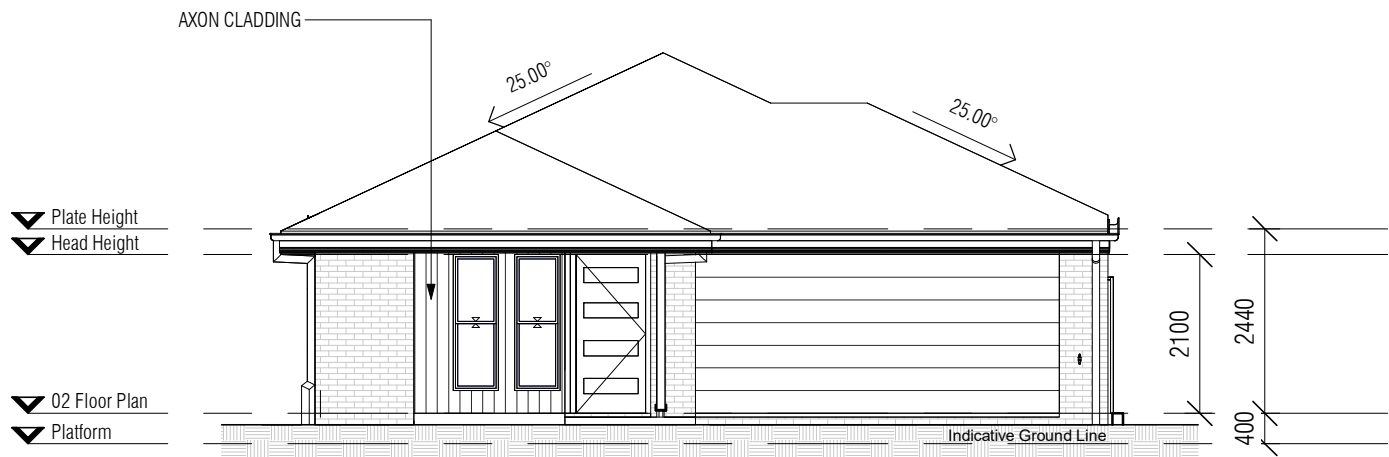
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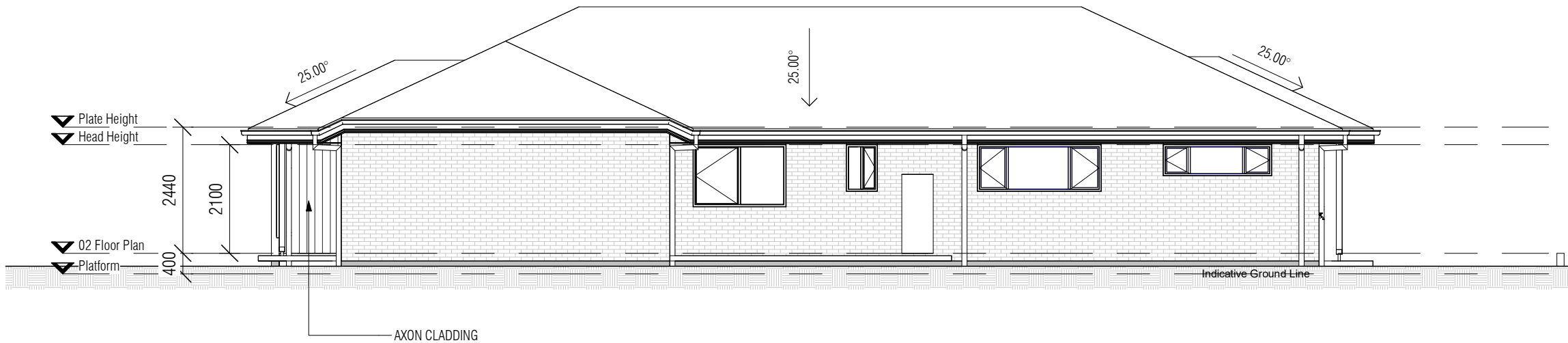
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HOUSE TYPE: SINGLE STOREY		

CLIENT: CHOICE HOMES		
CLIENTS SIGNATURE:		

DATE:	13.09.24	DWG Name <b>Slab Plan</b>
SCALE:	1 : 100	
DRAWN:	TB	DWG No: <b>103</b>
CHECKED:	TB	
JOB No:		ISSUE <b>A</b>



Elevation 1  
1 : 100



Elevation 2  
1 : 100

ROOF

- REFER TO TITLE BLOCK FOR ROOF TYPE. TRUSSES @ 600CTS.
- REFER TO ELEVATIONS AND ROOF PLAN FOR ROOF PITCH.
- BATTENS FOR TILED ROOF AT 330 CTS OR TO SUIT TILE SELECTION.
- BATTENS FOR COLORBOND ROOF AT 900CTS.
- ALL FIXINGS AND INSTALLATION IN ACCORDANCE WITH MAUFACTURERS SPECIFICATIONS.

- NOTE:** BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

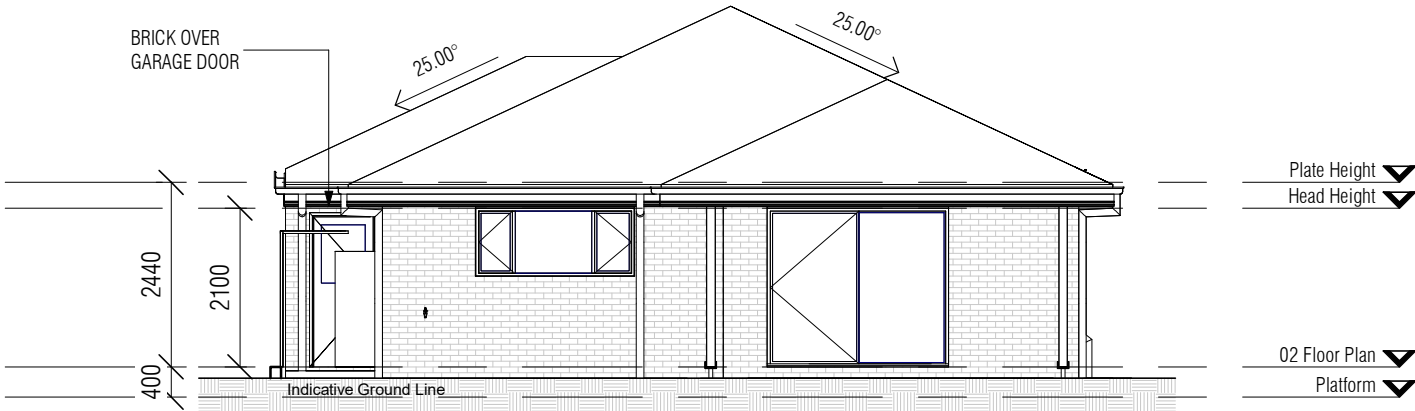
CLADDING & FINISHES

- FACE BRICK EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE DRAWING.**
- PAINTED FC ABOVE WINDOW & DOOR HEADS UNO.
- THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.

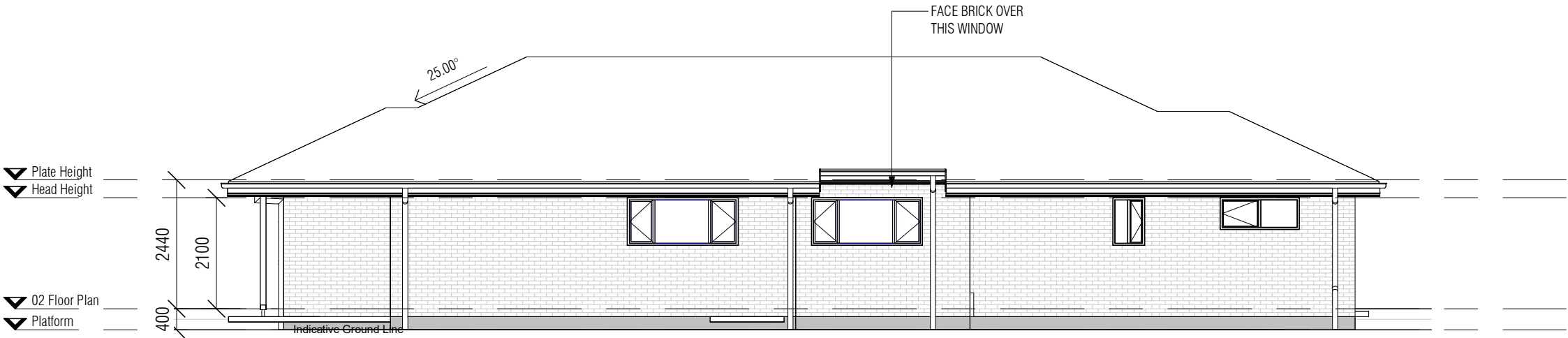
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DATE:	13.09.24	DWG Name
SCALE:	1 : 100	Elevations
DRAWN:	TB	DWG No:
CHECKED:	TB	201
JOB No:	ISSUE	A



Elevation 3  
1 : 100



Elevation 4  
1 : 100

ROOF

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  - REFER TO ELEVATIONS AND ROOF PLAN FOR ROOF PITCH.
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CHECKED:	TB	202
JOB No:		ISSUE
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Elevations