

Perspective

ACN 061 632 862 LIC. No. 71541
 P.O. BOX 396
 PARADISE POINT, QLD 4216
 PHONE: 07-5501 3300 WEBSITE:
 FAX No: 07-5501 3399 www.choicehomes.com.au

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STANDARD TEMPLATE

CONCRETE TILE ROOF. CAT 2 NOISE
 N2 WIND RATING TBC

Estimation Details:

B	10.05.24	NOISE CAT ADDED
A	30.04.24	SITING
ISS	DATE	DESCRIPTION

SITING

SITE DETAILS:
 LOT 22 RAVEN COURT
 AVIARY RIDGE ESTATE STAGE 1
 PARK RIDGE QLD

PROPERTY DETAILS
 S.P NUMBER 346178

HOUSE NAME:
WINCHESTER (1)

HOUSE TYPE:
 SINGLE STOREY

CLIENT:
CHOICE HOMES

CLIENTS SIGNATURE:

DATE:	30.04.24	DWG Name	
SCALE:			Perspective
DRAWN:	TB	DWG No:	000
CHECKED:	TB		
JOB No:	022AVR01	ISSUE	B

1. EARTHWORKS

- a) Cut and fill indicated on plan may vary at construction stage and builder is to verify and adjust as required.
- b) Any variation at construction stage is to comply with Council policy on earthworks/drainage for residential sites.
- c) Site works indicated on this plan are for construction purposes only.

2. RETAINING WALLS

- a) All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites.
- b) Position of retaining wall may vary and must be verified by builder prior to commencement.
- c) Any variation at construction stage to comply with Council policy.

3. CONTOURS AND LEVELS

- a) Contours and levels shown on plan are taken from levels supplied by contour surveyor and no responsibility is taken for accuracy or cut and fill levels.

4. STORMWATER

- a) Drainage is calculated for this proposed development only and may not be adequate for any subsequent roofed or paved areas.
- b) Minimum 100x75 or 100Ø downpipes at a rate of 1 per 40m² of roof area, discharging into 100Ø stormwater pipework connecting yard gullies.
- c) Minimum grade of 1% to kerb adapter or rubble pit if applicable.

AREA SCHEDULE		
Name	Area	Perimeter
Floor Area	176.68 m ²	63.21 m
Patio	13.16 m ²	15.00 m
Porch	1.61 m ²	5.19 m
Grand total: 3	191.45 m ²	

EXTERNAL CONCRETE	
Type	Area
Patio	12.94 m ²
AC ODU	0.98 m ²
Water Heater	0.49 m ²
Porch & Path	3.57 m ²
Clothesline	8.06 m ²
Driveway	50.50 m ²
Grand total: 6	76.53 m ²

RETAINING WALLS		
Type	Length	Area
Timber Retaining Wall	48.30 m	13.13 m ²
Timber Sleeper on Fence	13.30 m	2.66 m ²

NO BUSHFIRE REQUIREMENTS

QDC MP4.4 NOISE CAT. 2

- WINDOWS R_w 32 TO ANY WINDOW IN A HABITABLE ROOM WITH A GLAZED AREA ≤ 1.8m²
- WINDOWS R_w 35 TO ANY WINDOW IN A HABITABLE ROOM WITH A GLAZED AREA > 1.8m²
- ENTRY DOOR R_w 33
- WALLS R_w 41 : 220 BRICK VENEER WITH 10mm PLBD, MINERAL/ GLASS WOOL INSULATION ≥ 50mm THICK AND ≥ 11kg/m² DENSITY.
- ROOF R_w 38 : METAL OR TILES ON SARKING WITH 10mmPLBD & MINERAL/ GLASS WOOL INSULATION ≥ 50mm THICK AND ≥ 11kg/m² DENSITY.

RETAINING WALLS & LANDSCAPE

- NEW RETAINING WALLS ARE TREATED PINE UNO.
- RETAINING WALL & LANDSCAPE QUANTITIES MAY VARY ON SITE TO SUIT AS CONSTRUCTED SITE DETAILS.

FENCES

FENCE CAPPING

FINISHES

NOTE - RETAINING WALLS MAY VARY ON SITE ACCORDING TO SITE PROFILES AT CONSTRUCTION START. SITE SUPERVISOR TO DETERMINE ON SITE.



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SITE COVERAGE	45%
LOT AREA	395m ²
BUILDING SITE COVER	177m ²

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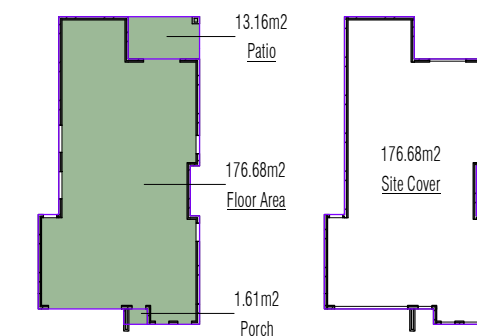
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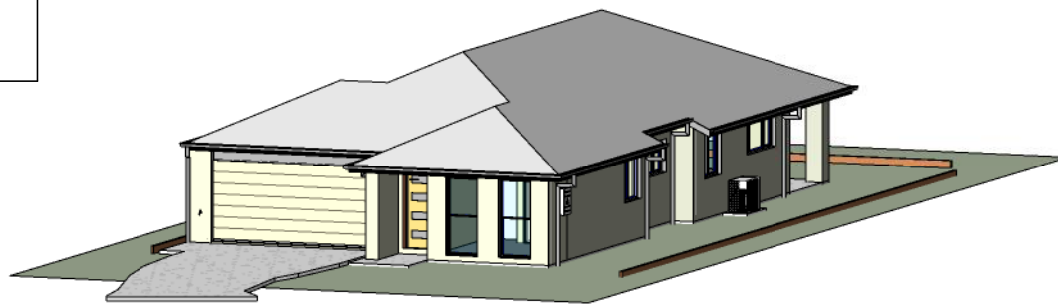
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SCALE: As indicated	Site Plan
DRAWN: TB	DWG No:
CHECKED: TB	101
JOB No: 022AVR01	ISSUE
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EMERGENCY ACTION PLAN

- EAP** ASSEMBLY AREA
- FOLLOW ARROWS

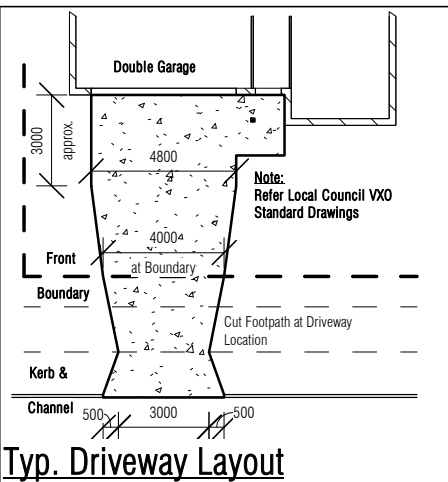


Area Plan
1 : 500

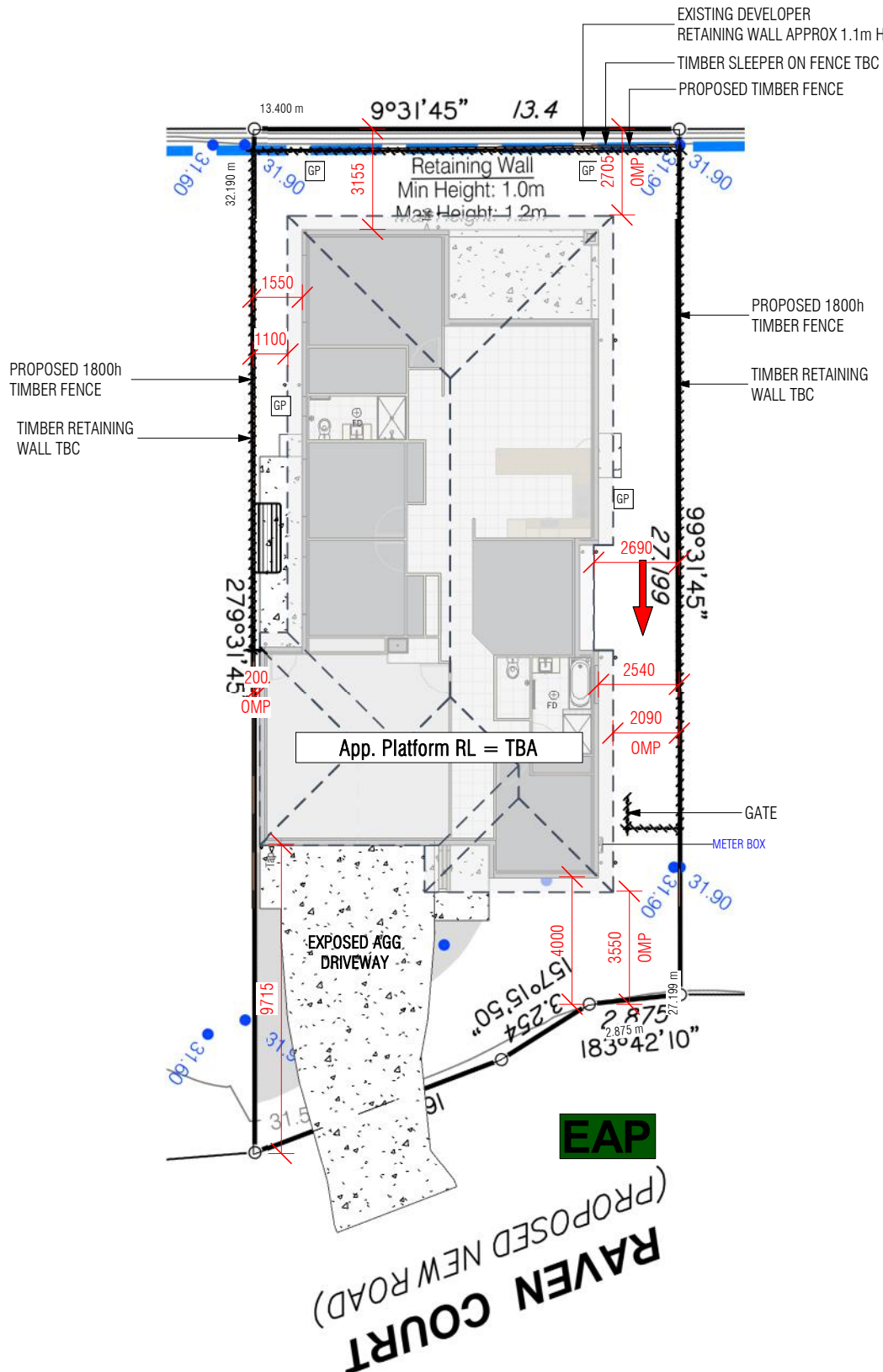


Site 3D - Front

Typ. Driveway Layout



Site Plan



01 Site Plan - Proposed
1 : 200

LEGEND	
W.I.R.	WALK IN ROBE
BRM	BROOM CUPBOARD
UBO	UNDER BENCH OVEN
DW	DISHWASHER
MW	MICROWAVE
F	FRIDGE SPACE
P	PANTRY
OHC	OVERHEAD CABINETS
DP	DOWN PIPE
SHS	SQUARE HOLLOW SECTION
tap	EXT. 12mm HOSE COCK
gas	NATURAL GAS POINT
FD	FLOOR WASTE
WH	HOT WATER SYSTEM
GWH	GAS HOT WATER SYSTEM
ISA	IONISATION SMOKE ALARM
M.B.	METER BOX
G.M.	GAS METER

AREA SCHEDULE		
Name	Area	Perimeter
Floor Area	176.68 m ²	63.21 m
Patio	13.16 m ²	15.00 m
Porch	1.61 m ²	5.19 m
Grand total: 3	191.45 m ²	

INTERNAL WALLS			
Type	Length	Area	Width
Stud 70	60.09 m	111.17 m ²	70
Stud 90	8.41 m	15.16 m ²	90
Stud 150	1.01 m	0.63 m ²	150

FLOOR TILES	
Type	Area
Bath	4.39 m ²
Ensuite	4.21 m ²
Laundry	1.26 m ²
Main Floor	46.77 m ²
WC	2.02 m ²
	58.65 m ²

CARPET	
Type	Area
Carpet	61.87 m ²

NOTE:
THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.

NOTE:
FINAL POSITION OF DOWNPIPES, METER BOX, GAS METER, GAS CONNECTIONS, TAPS, AC, AC ODU, WATER TANK, HOT WATER SYSTEM AND CLOTHESLINE MAY DIFFER TO PLAN DUE TO CONDITIONS ON SITE. (IF PART OF SPECIFICATION)

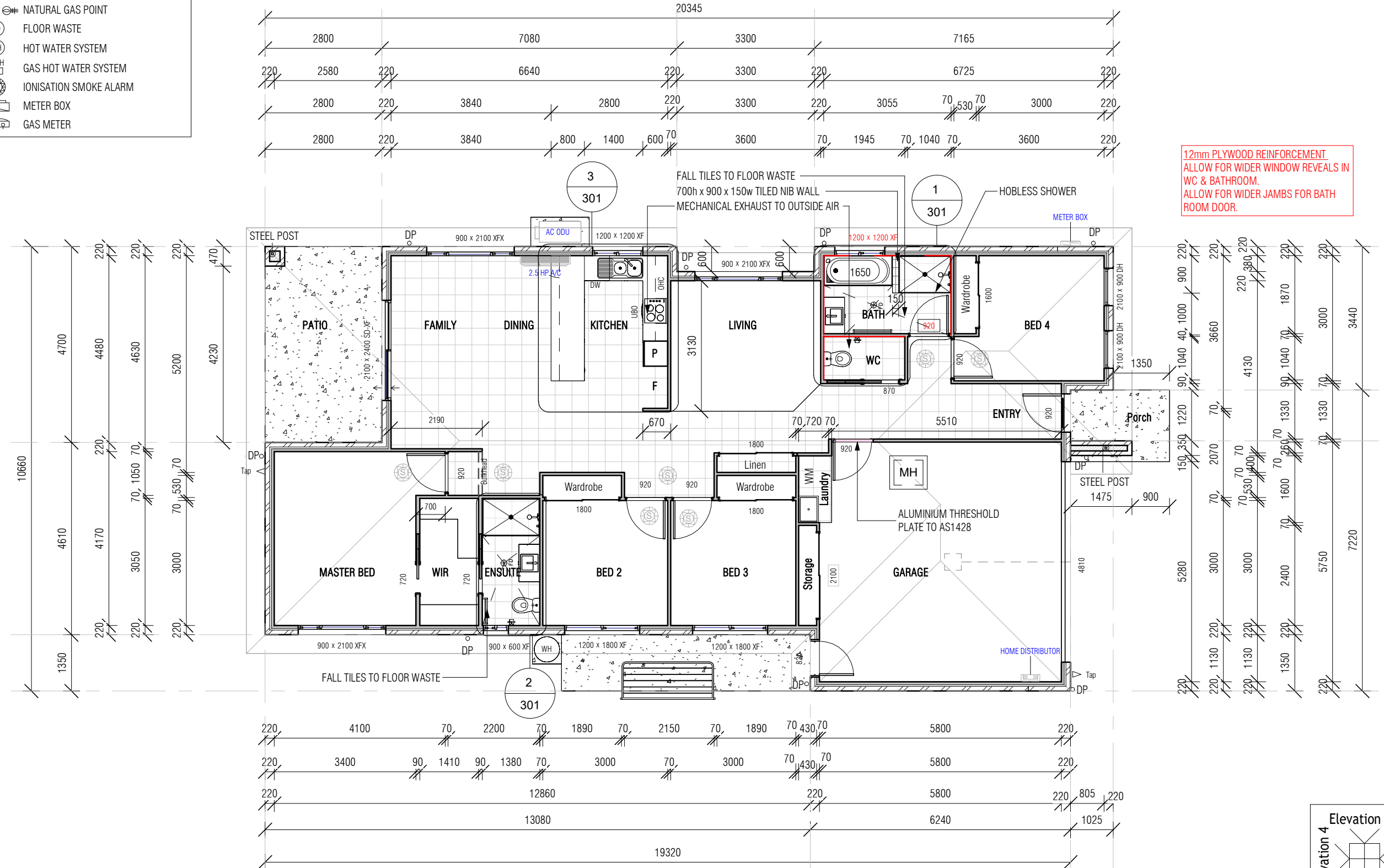
NBN REQUIREMENTS:
1 x HOME DISTRIBUTOR & POWER SUPPLY
2 X PHONE POINTS
2 X TV POINTS
2 X DATA POINT

ENERGY EFFICIENCY REQ'S NCC 2022
• R2.5 INSULATION INSTALLED TO ENTIRE CEILING INCLUDING PATIO.
• SARKING INSTALLED TO ALL WALLS
• 1.5 INSULATION BATTS TO ALL EXTERNAL WALLS WITH CLADDING
• CEILING FAN TO PATIO
• HEAT PUMP TO HOT WATER UNIT
• REFER TO ENERGY EFFICIENCY REPORT FOR ANY ADDITIONAL REQUIREMENTS

ALL NON LOAD BEARING WALLS TO BE AT 600 CTRS AND MGP10

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12mm PLYWOOD REINFORCEMENT
ALLOW FOR WIDER WINDOW REVEALS IN WC & BATHROOM.
ALLOW FOR WIDER JAMBS FOR BATH ROOM DOOR.

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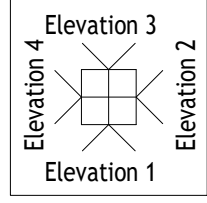
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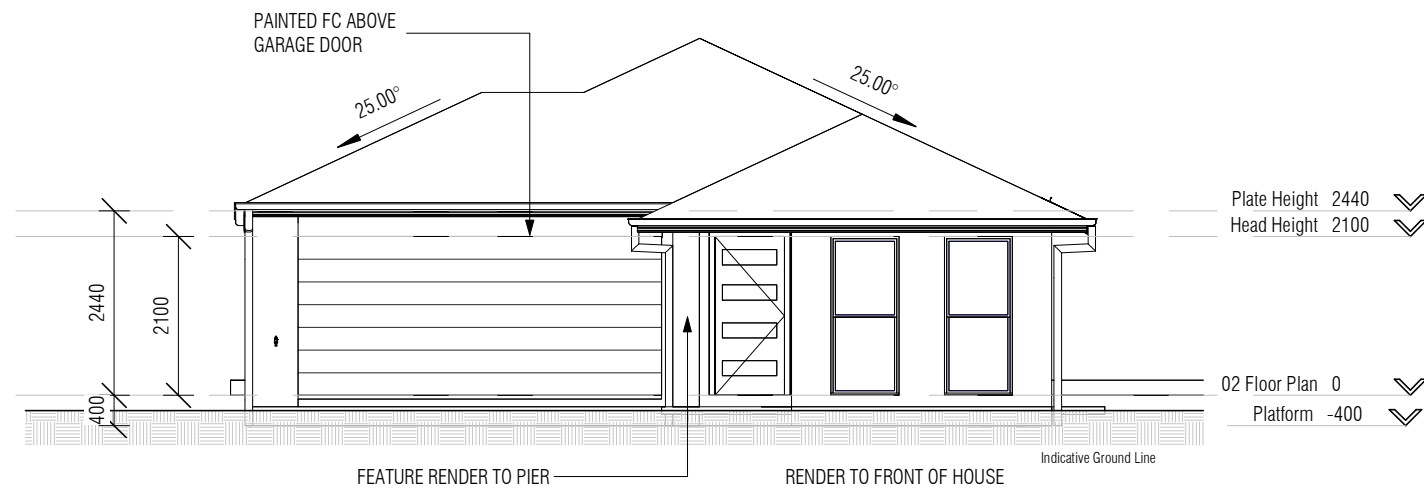
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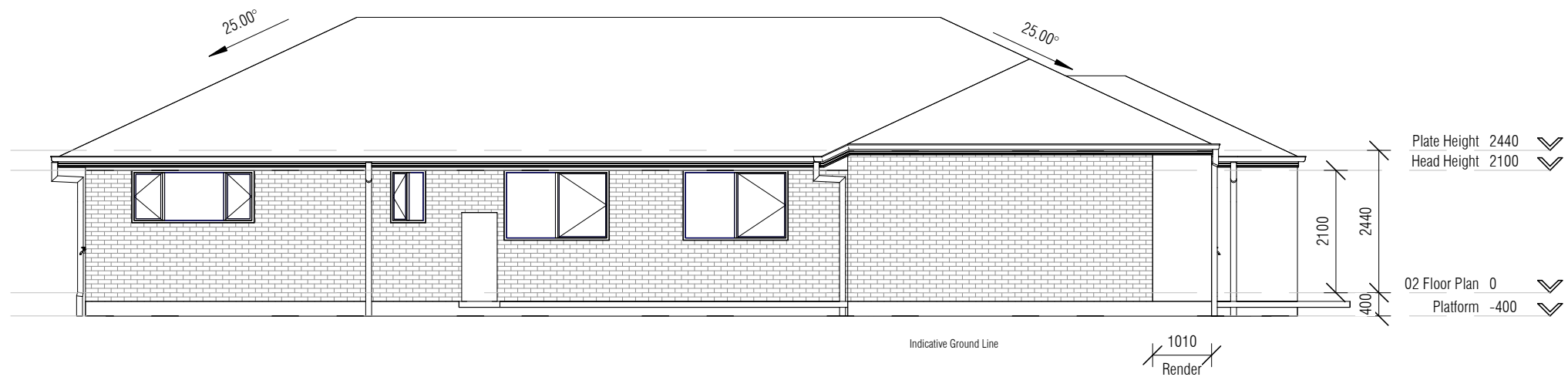
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SCALE: 1:100	Floor Plan
DRAWN: TB	DWG No:
CHECKED: TB	102
JOB No: 022AVR01	ISSUE
	B

Floor Plan





Elevation 1
1 : 100



Elevation 2
1 : 100

Elevations

ROOF

- SELECTED CONCRETE TILE ROOF AT NOTED PITCH FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ROOF BATTENS @ 330 CRS TO SUIT TILE PROFILE & FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ROOF TRUSSES @ 600 CRS ACCORDING TO MANUFACTURERS SPECIFICATIONS.
- **NOTE:** BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

CLADDING & FINISHES

- FACE BRICK EXTERNAL WALLS UNLESS NOTED OTHERWISE ON THE DRAWING.
- PAINTED FC ABOVE WINDOW & DOOR HEADS UNO.
- THE DRAWING PATTERNS, STYLE AND FINISH OF APPLIED ELEMENTS ARE INDICATIVE FOR THE PURPOSE OF A DRAWING STANDARD. REFER TO THE CONTRACT "COLOUR SELECTION" FOR SELECTED STYLES, FINISH AND COLOUR OF DOORS, WINDOWS, ACCESSORIES, FINISHES AND FIXTURES.

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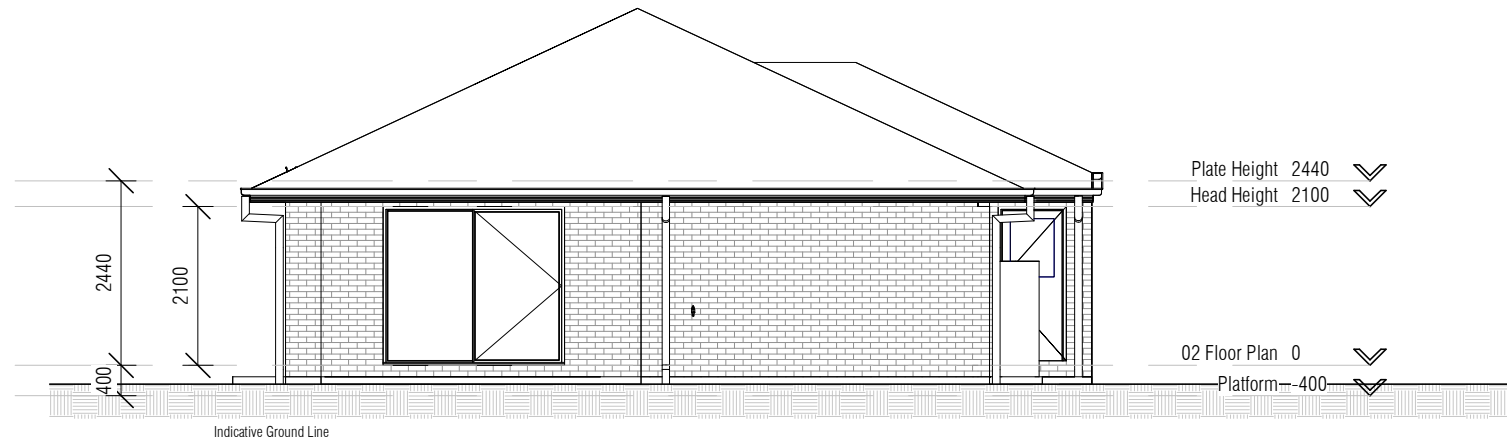
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Elevation 3
1 : 100

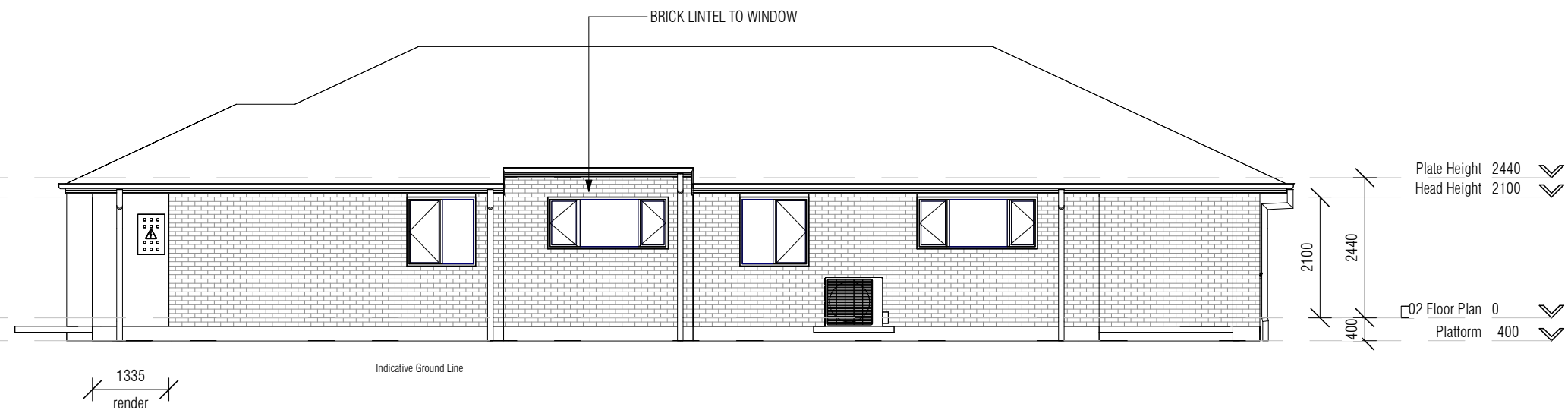
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Elevation 4
1 : 100

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