

LOT INFORMATION PLAN
PROPOSED LOT 316

1. These notes form an integral part of this plan. No part of this plan may be reproduced without these notes being included.
2. All dimensions and areas shown are subject to final survey and relevant local authority approval.
3. This plan has been prepared for issue to a buyer to provide information on the as constructed services and surface of the proposed lot. It is not to be used for any other purpose.
4. Levels and contours shown on this plan are not to be used for building design or construction; a topographical survey of the site is required.
5. Any engineering detail (retaining walls, etc.) shown on this plan is indicative only.
6. For further detail regarding services, facilities and features which may have relevance to the proposed lot, reference should be made to the Development Application approval conditions, the approved operational works drawings, the current engineering drawings and the as constructed drawings.

Contour Interval – 0.25 metre

— 32.0 — As Constructed Contours

Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)

Preferred Driveway Location

SERVICES

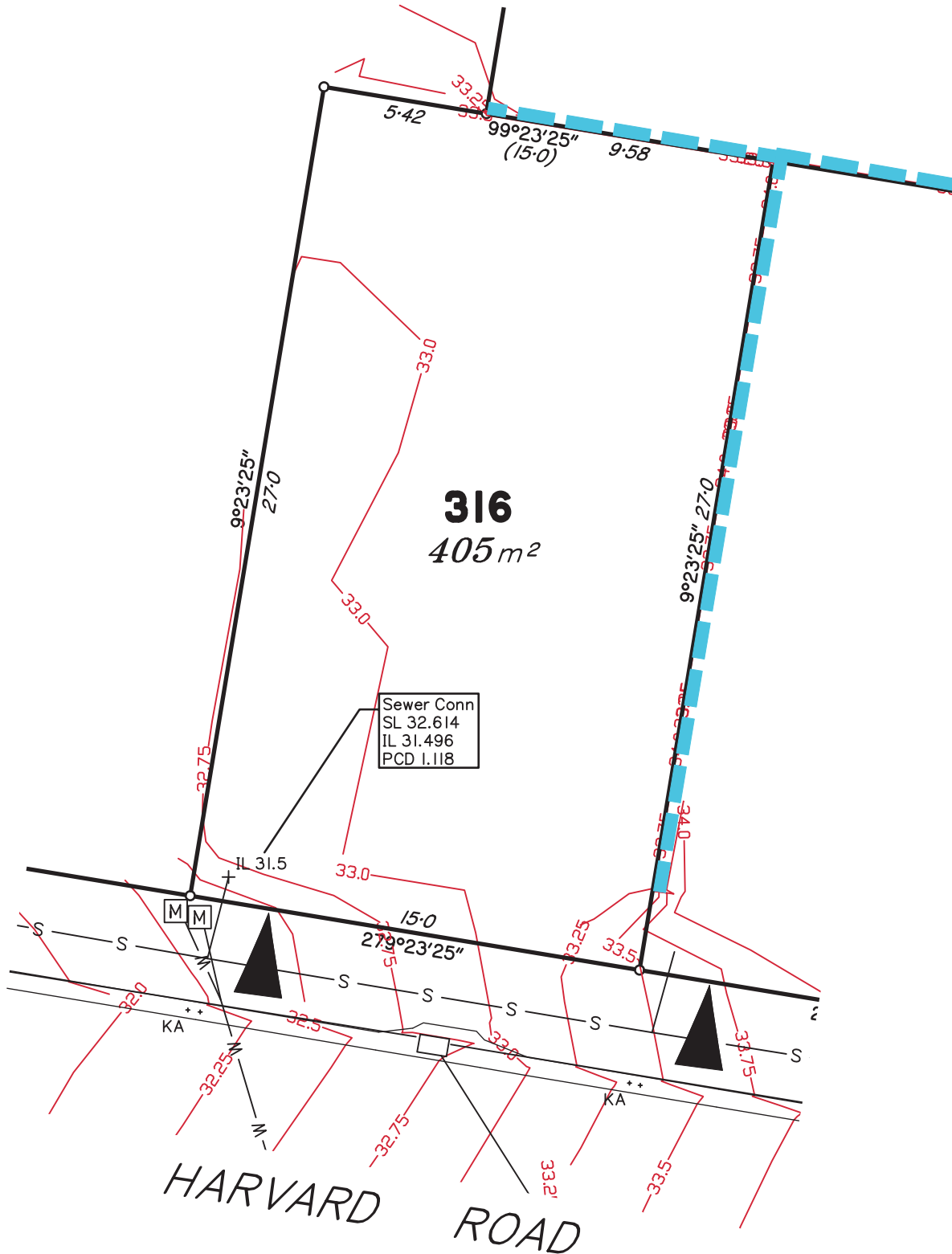
S Sewer Line
Sewer Manhole
SL Surface Level
IL Invert Level
PCD Property Connection Depth
Drainage Pit
SW Stormwater Line
x KA Kerb Adaptor

W Water Line
Water Meter

Telstra Pit
Electricity Box
Light Pole

Meridian: MGA Zone 56 ☒ Yes ☐ No

Contour
Height Datum: AHD



Scale 1:200 – Lengths are in metres.



LOCALITY MAP

A	ORIGINAL ISSUE	13/08/24	RM	LM
Issue	Details	Date	Drawn	Checked

LOT INFORMATION PLAN
SUNNYGOLD PROPERTIES
STAGE 6B "SIX MILE CREEK"
COLLINGWOOD DRIVE, COLLINGWOOD PARK

Dwg No: A3-6875/316	Issue: A
Project: BNE130181	
File: B130181Sk1.dwg	