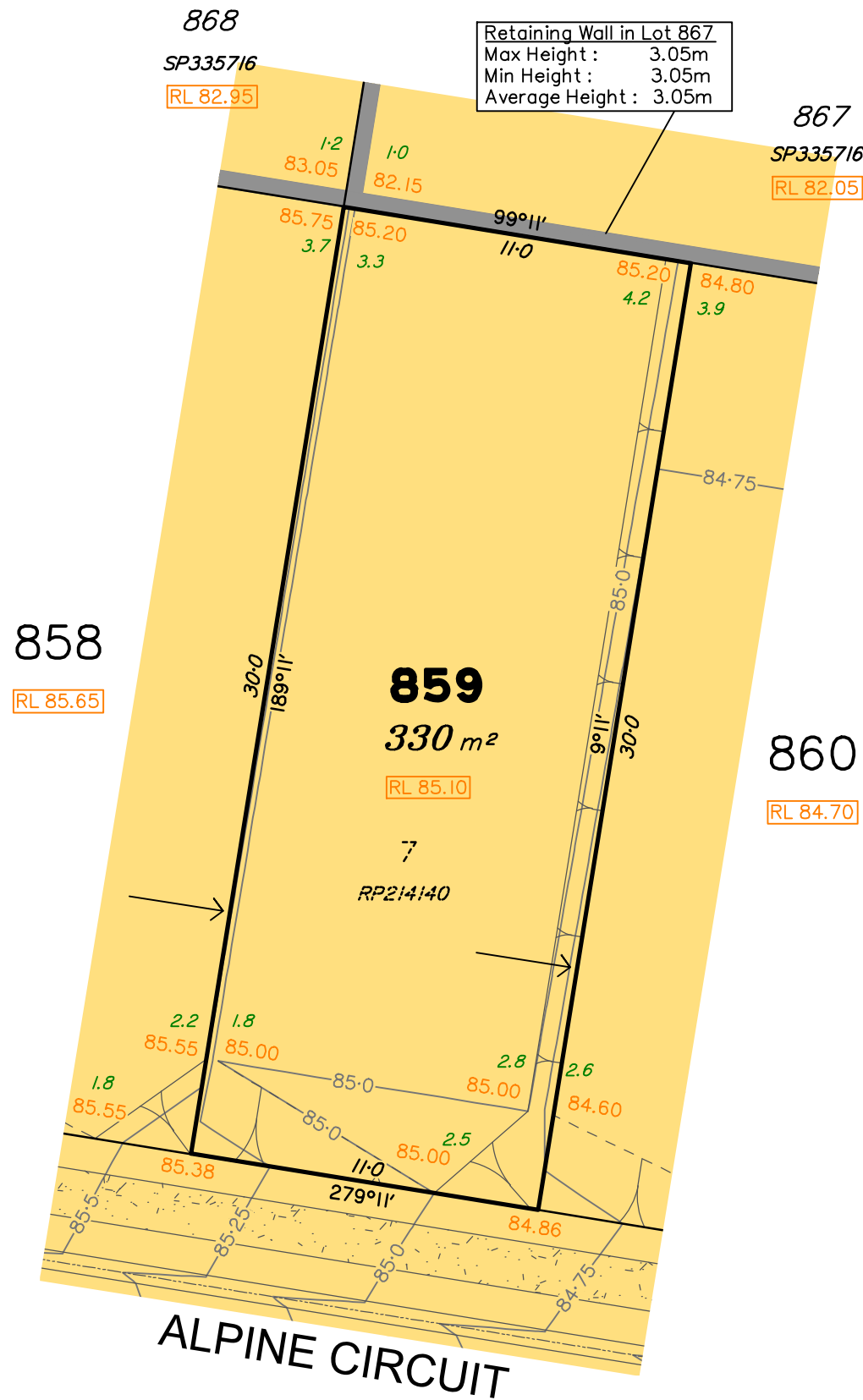


PRELIMINARY



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Toe of Batter
- Retaining Wall
- Preferred Earthworks Pad Level
- Finished Surface Design Level
- Optional Built to Boundary Wall

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP335717) and engineering data provided on the 21/02/2023 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 30/08/2022. (Application No: 2098/2015/MAMC/D). For updates to this approval visit [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

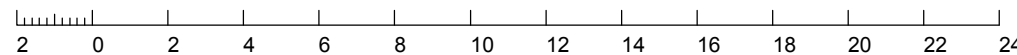
The relevant authorities have granted operational works approval for this lot.

A minimum of 1.0m of fill and capping is present on all Stage 17 lots. All fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Lot 859 is restricted to the depth of 18.288 metres from the surface, as defined by plan M3172.

**EDEN'S CROSSING**  
STAGE 17

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	04.03.24	PS	Original Issue

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 859 (Restricted) on SP335717

Described as part of Lot 7001 (Restricted) on SP331519  
Existing Title Reference: 51324127

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m

Scale @A3 1: 200  
Plan No. 9112 S 40 DP A\_859