



Cadence 180 - Hamptons
ARTIST IMPRESSION ONLY

Perspectives				HOUSE TYPE: Cadence 180 - Hamptons	DRAWN: RSM	ISSUE: A		
					CLIENT: TBC	PAGE #: 000		BAL: N/A
						WIND: N/A		ACOUSTIC: N/A
					SITE DETAILS: Lot 316 Harvard Road 'Six Mile Creek - Stage 6B' Collingwood Park QLD 4301	JOB No: TBC		
						SCALE:		
	A	19.03.25	SITING PLAN					
	ISS	DATE	DESCRIPTION					

Site Notes

1.) Contours and levels shown are produced from disclosure plans and are not guaranteed to be correct

2.) Topography shown is based on an assumed datum Point.

3.) All survey pegs are to be located prior to earthworks.

4.) Surface water to be drained away from dwelling (provide a 1:20 minimum fall).

5.) Maximum batters shall be provided as follows:
(i) CUT-1:1 (ii) FILL-1:2 (iii) VEHICULAR ACCESS-1:4

6.) The working PAD RL noted on the site plan shall have a tolerance of up to 100mm

7.) The Builder takes no responsibility for retaining or drainage requirements caused by conditions on adjoining properties. Such works are to be carried out by the owner.

8.) Footpath in driveway may or may not be removed subject to site conditions.

9.) Site Pad level to be determined/confirmed by the Engineer. Refer to the engineering plans/report for further details.

10.) All retaining walls will be decided on site by the relevant site supervisor.

11.) Clothesline & letterbox position subject to site conditions and may change.

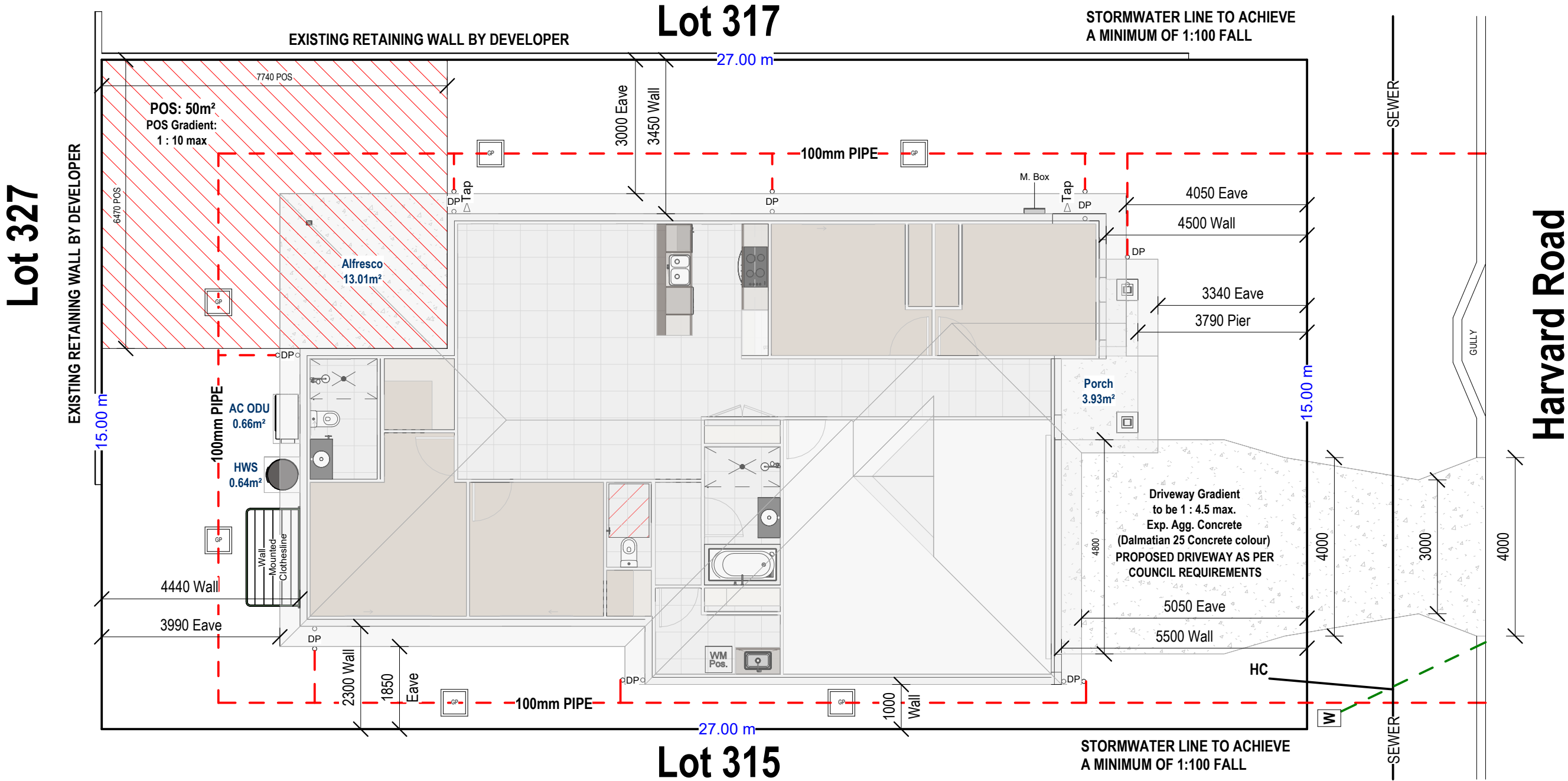
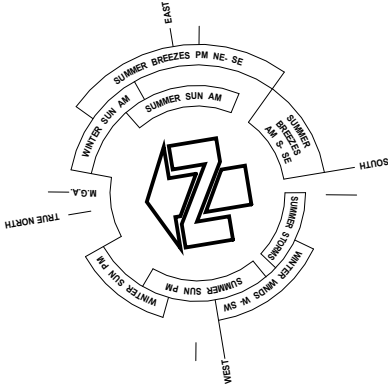
- VARIATION SCHEDULE**
1. Livable Housing Applicable
 2. Whole of Home Applicable
 3. Freestanding electric cooktop/oven
 4. Heat pump hot water system
 5. Picture frames, stop ends, posts, crows foot / vent to be painted in Greyology 1
 6. Lot is connected to the NBN network
 7. Bulk insulation to ceiling (excluding Porch, Alfresco, Garage)

PROPERTY DESCRIPTION

Lot - 316
Street Number - 11
SP - SP322923
Authority - Ipswich City Council

SITE COVERAGE = 44%
LOT AREA = 405m²
HOUSE FOOTPRINT = 180m²

GL = 33.00
CUT = 100mm
FILL = 100mm
FL = REFER TO ENGINEERS



Site Plan					HOUSE TYPE: Cadence 180 - Hamptons	DRAWN: RSM ISSUE: A	A3
					CLIENT: TBC	PAGE #: 100 BAL: N/A	
					SITE DETAILS: Lot 316 Harvard Road 'Six Mile Creek - Stage 6B' Collingwood Park QLD 4301	WIND: N/A ACOUSTIC: N/A	
						JOB No: TBC	
						SCALE: 1 : 100	
	A	19.03.25	SITING PLAN				
	ISS	DATE	DESCRIPTION				

Area Schedule	
Name	Area
Alfresco	13.22 m²
Garage	36.94 m²
Lower Living	126.46 m²
Porch	4.10 m²
Grand total: 4	180.73 m²

Energy Efficiency Requirements

Plan is to achieve a minimum **7 (out of 10) star energy efficiency rating** as set out by the Queensland Development Code 4.1 - Sustainable Buildings (QDC MP 4.1).

Plan is to achieve a minimum **60 (out of 100) Whole of Home assessment rating** as set out in the National Construction Code (NCC 2022)

GENERAL NOTES:

Figure dimentions take precedence to scaled dimensions.
Internal dimensions between framing, etc. do not include the allowance for lining thicknesses.
Angled walls shall be 45° unless noted otherwise.

Separate W/C rooms to have Lift off Hinges

All Bathrooms, W/Cs, Ensuites and Laundries, without Natural Ventilation (windows) to have Mechanical Exhaust Fans.

Bulkheads:
2260mm from slab to underside (unless noted otherwise).

Livable Housing Design:

Plans to comply with Livable Housing Design Standard 2022. Refer to sheet 820 onwards for further details.

Step Free Access Path Exemption

This lot is using a step free access path via the driveway/garage due to one of the following:

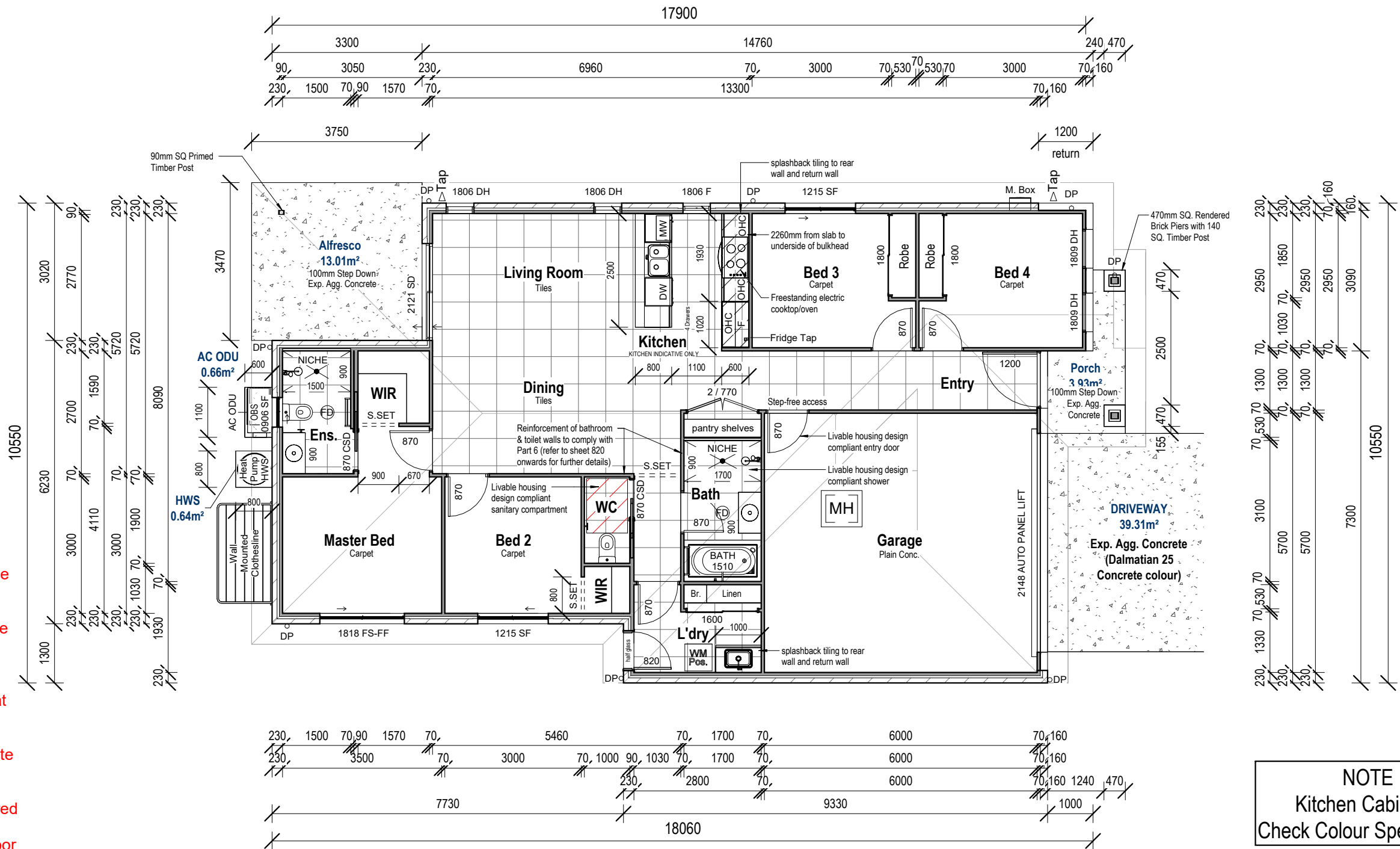
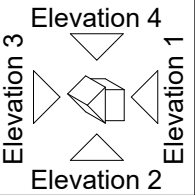
- The average slope of the ground on which the access path would be constructed exceeds a gradient of 1:14.
- To provide an external step-free access path would necessitate construction of ramping that exceeds the length and gradient allowed by Clause 1.1(4).
- There is insufficient space available on the site on which to construct a step-free access path complying with Clause 1.1.
- Subject to (3), the difference in level, measured vertically from the pedestrian entry at the allotment boundary or parking space to the floor level at the entrance door on the nearest floor containing habitable rooms, would necessitate construction of ramping that exceeds the length and gradient allowed under Clause 1.1(4).

Lot is connected to the NBN network

1:80 fall minimum fall to all drains

50mm slab recess for bathroom/ ensuite tile bedding

2740mm ceiling height



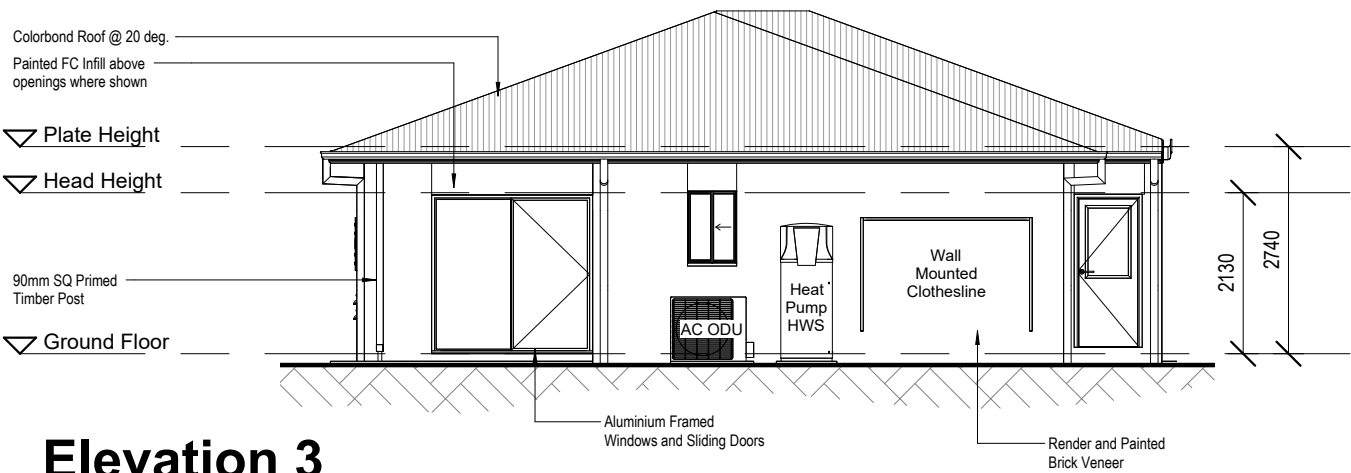
NOTE :
Kitchen Cabinetry :
Check Colour Specifications

NOTE :
Laundry & Bathroom Cabinetry :
Check Colour Specifications

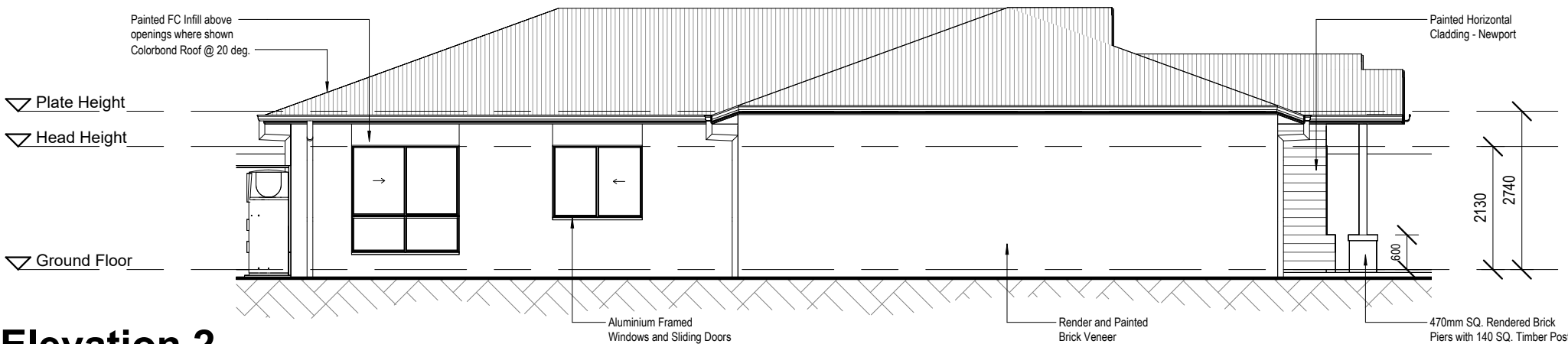
Ground Floor Plan				HOUSE TYPE: Cadence 180 - Hamptons	DRAWN: RSM ISSUE: A	A3
				CLIENT: TBC	PAGE #: 200 BAL: N/A	
				SITE DETAILS: Lot 316 Harvard Road 'Six Mile Creek - Stage 6B' Collingwood Park QLD 4301	WIND: N/A ACOUSTIC: N/A	
					JOB No: TBC	
					SCALE: 1 : 100	
	A	19.03.25	SITING PLAN			
	ISS	DATE	DESCRIPTION			



Elevation 1
1 : 100



Elevation 3
1 : 100



Elevation 2
1 : 100



Elevation 4
1 : 100

Elevations				HOUSE TYPE: Cadence 180 - Hamptons	DRAWN: RSM ISSUE: A	A3
				CLIENT: TBC	PAGE #: 400 BAL: N/A	
				SITE DETAILS: Lot 316 Harvard Road 'Six Mile Creek - Stage 6B' Collingwood Park QLD 4301	WIND: N/A ACOUSTIC: N/A	
					JOB No: TBC	
					SCALE: 1 : 100	
	A	19.03.25	SITING PLAN			
	ISS	DATE	DESCRIPTION			