

EDEN'S CROSSING

Where life comes together.

Magnolia Release

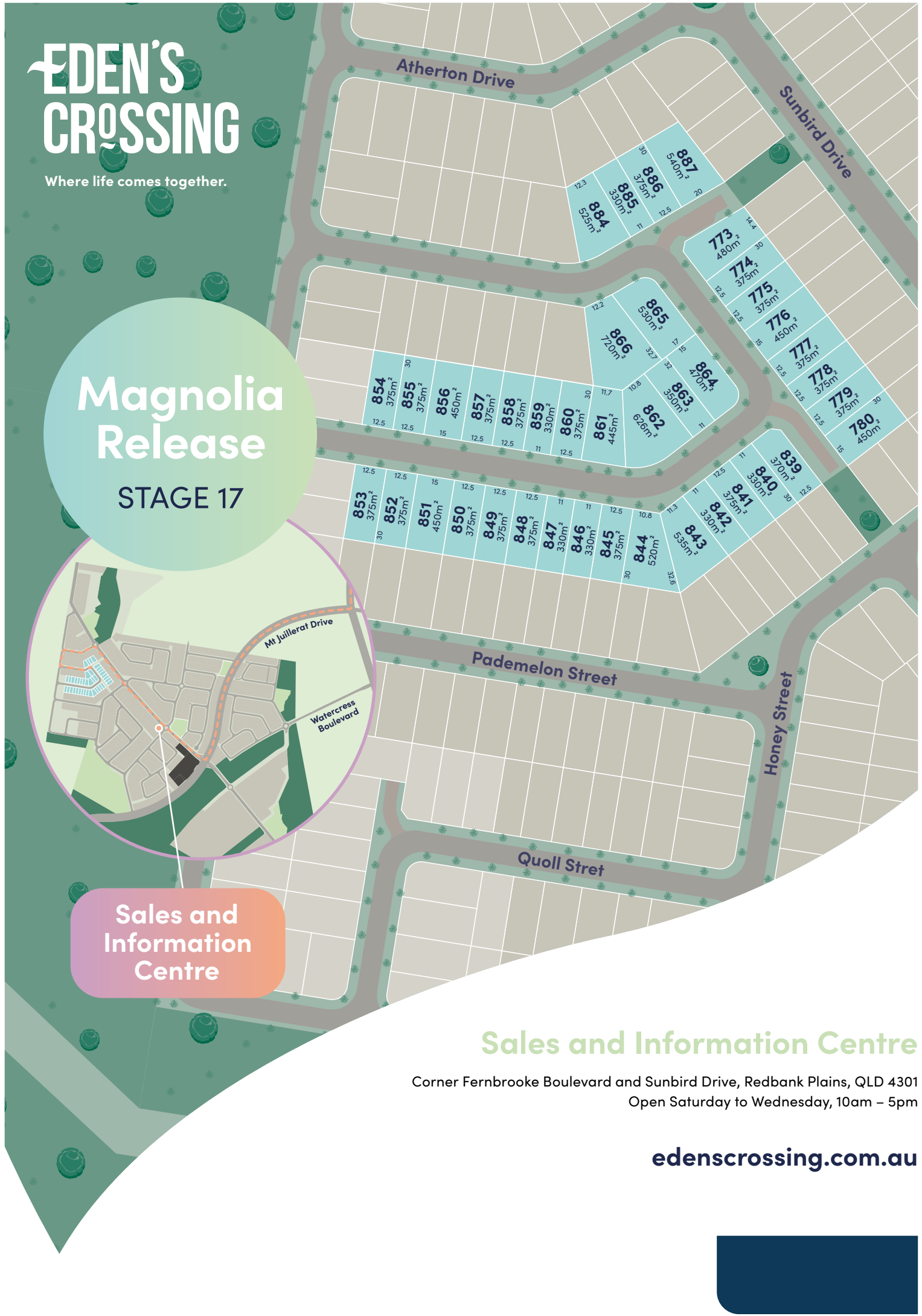
STAGE 17

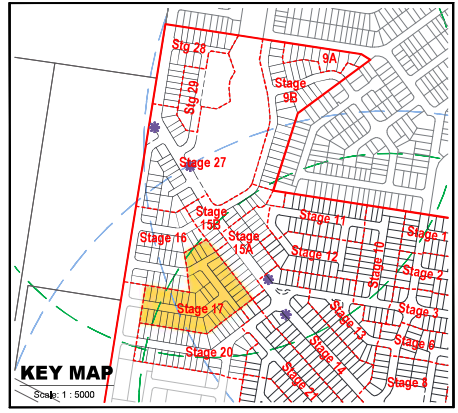
Sales and Information Centre

Sales and Information Centre

Corner Fernbrooke Boulevard and Sunbird Drive, Redbank Plains, QLD 4301
Open Saturday to Wednesday, 10am – 5pm

edenscrossing.com.au

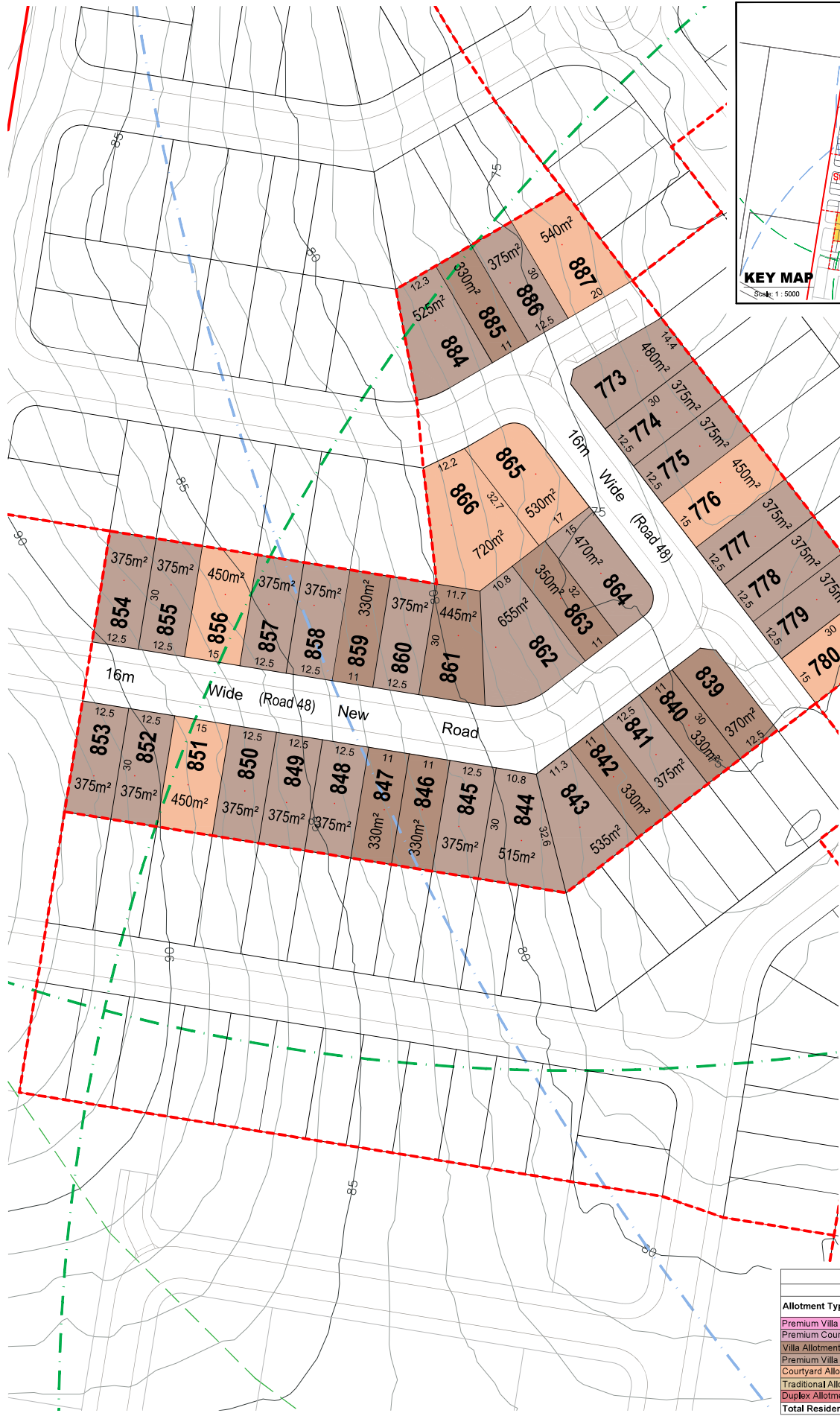




Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No.: 2098/2015/MAMC/D

Date: 30 August 2022

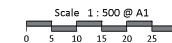


Legend

- Site Boundary
- Proposed Stage Boundary
- ICC Zoning Boundary
- Preliminary Approval Zoning Boundary
- 15.5m Bushfire Setback
- 500m Park Catchment
- 800m Commercial Community Catchment
- Indicative Bus Stop Location

Note:
 All Lot Numbers, Dimensions and Areas are approximate only and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information: Saunders Havill
Site boundaries: DCDB
Adjoining information: DCDB
Contours: QSpatial



Land Budget

Land Use	Stage 17	
	Area	%
Area of Subject Site	2,211 ha	100.0%
Saleable Area		
Residential Allotments	1,868 ha	75.4%
Total Area of Allotments	1,868 ha	75.4%
Road		
Collector Streets	—	0.0%
Local Access Streets	0,543 ha	24.8%
Pedestrian Linkage / Landscaped Treatment	—	0.0%
Total Area of New Road	0,543 ha	24.8%
Open Space		
Active Park	—	0.0%
Drainage / Bio Retention	—	0.0%
Total Open Space	—	0.0%

Road Lengths	
Street Type	Length
16m Wide New Road	380m
17m Wide New Road	—
21m Wide New Road	—
Total Length of New Road	380m

Yield Breakdown				
Allotment Type	Residential Allotments		Stage 17	
	Typical Size	Typical Area	Lots	%
Premium Villa Allotment	12.5 x 25m	312.5m ²	—	0.0%
Premium Courtyard	16 x 25m	400m ²	—	0.0%
Villa Allotment	11 x 30m	330m ²	9	22.5%
Premium Villa Allotment	12.5 x 30m	375m ²	24	60.0%
Courtyard Allotment	15 x 30m	420m ²	7	17.5%
Traditional Allotment	18 x 30m	540m ²	—	0.0%
Duplex Allotment	>800m ²	—	—	0.0%
Total Residential Allotments			40	100.0%

REVISION
A: 14/02/19 Amend Stage 9A
B: 08/03/19 Information Request Amendments
C: 20/03/19 POI Sub-back Amendment
D: 05/08/20 Sub-staging Stage 15
E: 15/02/21 Lot 983 Amendments
F: 20/04/21 Stage 20 Updates
G: 22/11/21 Stage 9A, 16 & 27 Updates
H: 19/01/22 Stage 27 Updates
I: 15/02/22 Stage 27 & 29 Updates
J: 27/05/22 Stage 9A Updates
K: 16/09/22 Stage 16 Updates
L: 11/07/22 Lot 930 POI Update

PROJECT	EDENS CROSSING
Job Ref. 132030	Date, 11 JULY 2022
Comp By, JC	DWG Name, 132030-LOT 89 STG 9-29
Chk'd By, MD	Locality, IPSWICH CITY COUNCIL
Local Authority, REDBANK PLAINS	

CLIENT

PEET

PLAN OF SUBDIVISION
 STAGE 17
 ALLOTMENT LAYOUT

Scale	Sheet	Plan Ref	Rev
1:500	A1	132030-89	L

RPS

URBAN DESIGN
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